

SUBJECT: RESOLUTION NO. 37, SERIES 2025 – A RESOLUTION
APPROVING A PLANNED UNIT DEVELOPMENT AMENDMENT TO
REPLACE EXISTING FREESTANDING SIGNS AND ADD A NEW
WALL SIGN ON THE AVISTA ADVENTIST HOSPITAL CAMPUS

DATE: JUNE 3, 2025

PREPARED BY: EMILY CLINE-GIBSON, PLANNER II

PRESENTED BY: EMILY CLINE-GIBSON, PLANNER II

VICINITY MAP:



SUMMARY:

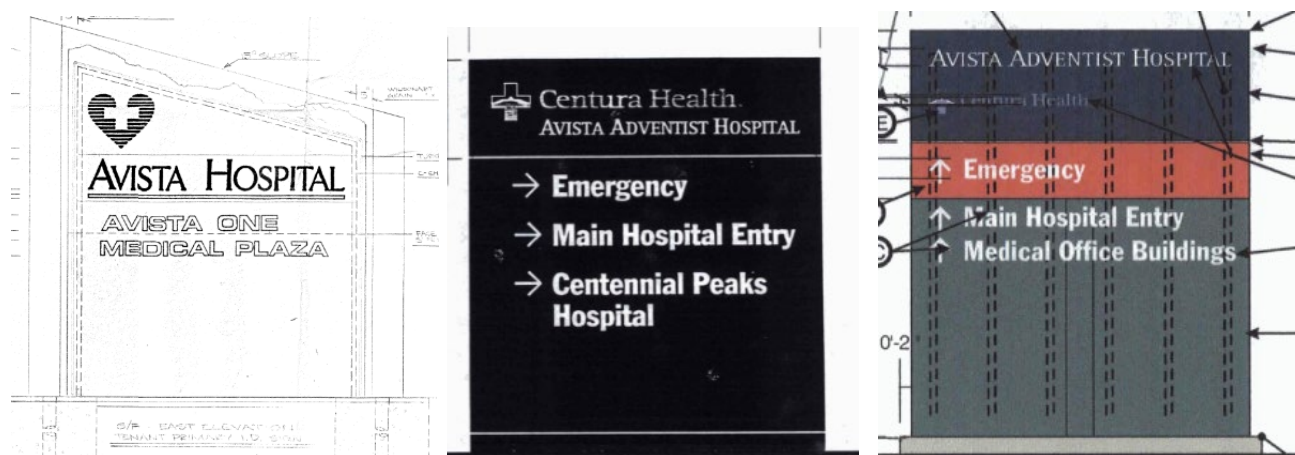
The applicant, Mark Blaser, Boulder Associates Inc., is requesting approval of a Planned Unit Development (PUD) Amendment to allow for an updated sign package on Lots 2-4 of the Advent Health Avista Hospital property. The proposed sign package includes the replacement of nine existing freestanding signs, the removal of one freestanding sign, the relocation of one freestanding sign, and the addition of one wall sign. Four wall signs are proposed to remain unchanged. The applicant is also requesting five waivers for the signage.

BACKGROUND / PRIOR DISCUSSIONS:

The property is zoned Planned Community Zone District - Commercial (PCZD-C) and is subject to the [Avista Adventist Hospital General Development Plan \(GDP\)](#), which was approved by City Council in 2002. Signage is evaluated against the [City of Louisville Sign Code](#) ("Sign Code") and all other site design elements are subject to the [Commercial Development Design Standards and Guidelines \(CDDSG\)](#).

The following summarizes development and sign approvals for the property:

- The Centennial Park Hospital PUD was approved by City Council in 1989 and established the development patterns for Lot 2 of the subject property.
- A Master Sign Plan was established for the property in 1990 through the PUD process. The plan consisted of thirteen total freestanding and wall signs, including a freestanding sign facing US Highway 36 ("US 36") that was approved for installation on City property.
- The Avista Adventist Hospital (Formerly Centennial Health Park) PUD was approved by City Council in 1998 and established development patterns for Lots 3-4 of the subject property.
- A new sign package was administratively approved as a PUD Amendment in late 1997.
- The current signage located on the subject property was approved in 2002 as a sign reface permit set. Most signage has not moved from their originally approved locations.



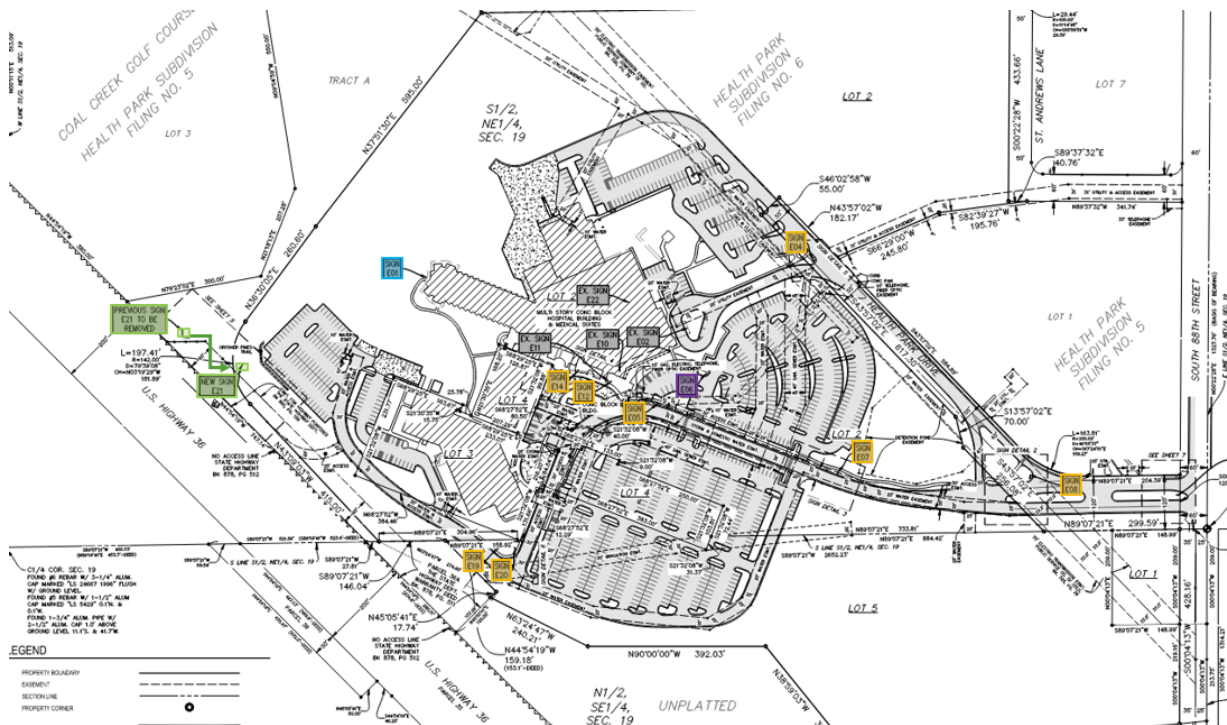
Renderings from the 1990 Master Sign Plan (left), the 1997 administrative PUD Amendment (middle), and the 2002 approved permit set (right).

City Council approved Ordinance No. 715, Series 1981, which established sign regulations for the City of Louisville. Notable amendments to the sign regulations include minor changes in 1992-1994 and a major code amendment in 2006. In 2019, the City of Louisville repealed all previous sign regulations and City Council adopted a city-wide Sign

Code through Ordinance No. 1779, Series 2019. All new sign proposals must comply with the 2019 adopted Sign Code.

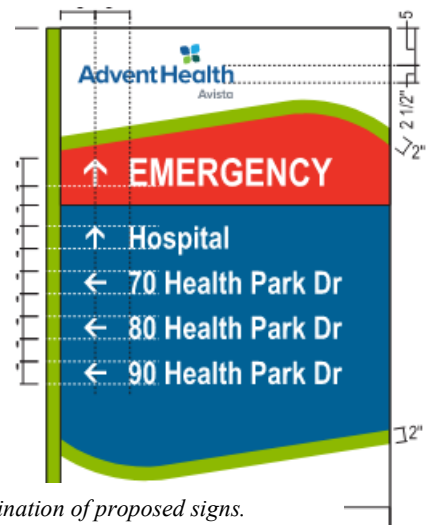
DEVELOPMENT PROPOSAL:

The applicant is proposing to install one new wall sign, replace nine freestanding signs with new signs of similar size, and relocate one freestanding sign that is currently located on City property. Four existing wall signs are proposed to remain unchanged.



Site plan of the subject property. The green boxes represent the sign on City property facing US 36 to be relocated, the blue box shows the location of new wall sign, the purple box shows the existing freestanding sign that will be removed and not replaced, and all orange boxes show existing freestanding signs to be replaced.

The nine directional freestanding signs are intended to improve wayfinding for the Advent Health Avista Hospital campus and are proposed to be in similar size and location as the existing signs. One directional sign, labeled as E06, is proposed to be removed from the parking lot area and not replaced.

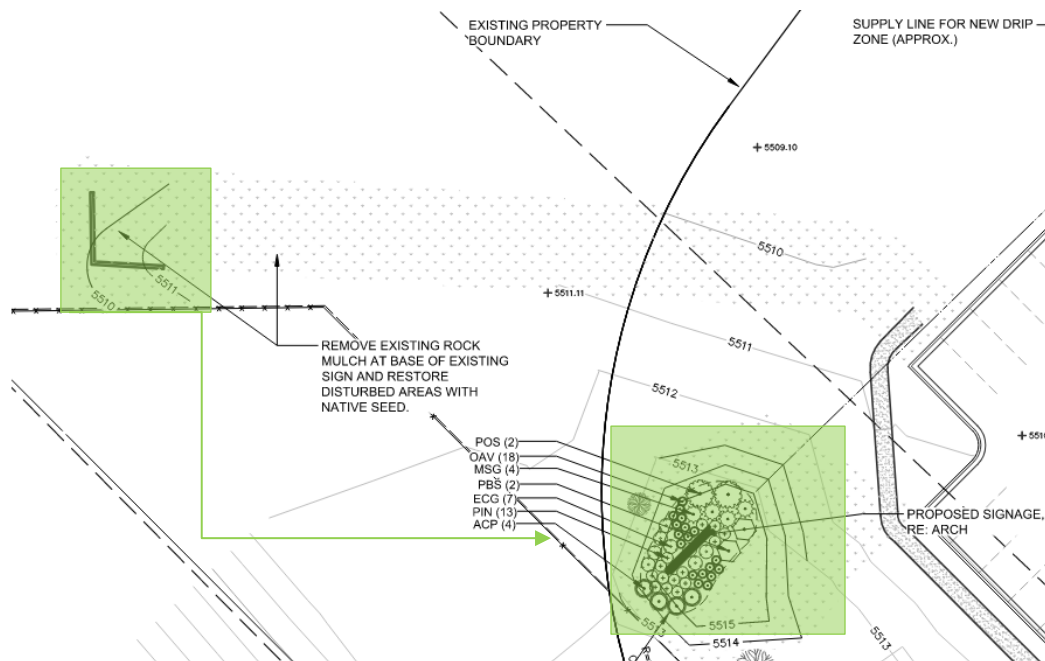


Example daytime and night illumination of proposed signs.

The following table compares the size of the proposed and existing freestanding signs:

<i>Table 1. Proposed and Existing Sign Sizes</i>				
Sign Number	Existing Height (feet)	Proposed Height (feet)	Existing Area (square feet)	Proposed Area (square feet)
E04	4.1	4	20.6	16.5
E05	4.1	4	12.4	16.5
E07	5.7	6	27.5	24.8
E08	10	12	80	63.4
E09	14	12	112.3	63.4
E12	4.1	4	20.6	21.9
E14	4.1	4	20.6	16.5
E19	4.1	4	12.4	16.5
E20	4.1	4	12.4	16.5
E21	10.5	10	158	139.2

One existing freestanding sign faces US 36 and is located on City property. This sign, labeled as E21, is proposed to be removed and a new sign will be placed within the subject property boundaries. The proposed sign will still be visible from US 36 at its new location. Rock and mulch landscaping that is currently located at the base of the existing sign will be removed and a native seed mix will be planted in the disturbed area. The new sign location will include a landscape base with a mix of shrubs, perennials, and ornamental grass.



Proposed relocation of existing freestanding sign.

Additionally, a new wall sign is proposed on the patient wing and will face northwest towards the Coal Creek Golf Course and Avista Open Space. The proposed sign will be 4.4 feet tall and approximately 131.7 square feet.



Proposed wall sign.

ANALYSIS:

Section 2.3 of the Sign Code states that any increase in the maximum number of signs for a property shall follow the PUD approval process. In addition, the applicant is requesting five Sign Code waivers to maintain uniformity with the previously approved Master Sign Plan. Staff analysis includes a review of the Sign Code followed by the waiver criteria.

Freestanding Signs

Directional signs are exempt from permit requirements if they do not exceed five square feet, as outlined in Section 2.2. of the Sign Code. Since all proposed directional signs are larger than five square feet, they must be considered freestanding signs. Signs E8 and E9 are located at primary frontages and are primary signs. The remaining freestanding signs are secondary signs.

Aside from the requested waivers, which include relief from the maximum allowed number of freestanding signs and deviation from base and border requirements, all proposed signs meet the commercial criteria for freestanding signs.

4.10.b FREESTANDING SIGNS in COMMERCIAL AREAS, cont.

Standard	Commercial Single Tenant Site	Commercial Multi-Tenant Site*	Office Single Tenant Site	Office Multi-Tenant Site
Permitted	Yes	Yes	Yes	Yes
Permit Req'd	Yes	Yes	Yes	Yes
Max. Number	1 per primary frontage, 1 per secondary frontage, not to exceed 2 signs	1 per primary frontage, 1 per secondary frontage, not to exceed 4 signs	1 per primary frontage, 1 per secondary frontage, not to exceed 2 signs	1 per primary frontage, 1 per secondary frontage, not to exceed 3 signs
Max. Area, Primary	48 sf	60 sf - less than 60,000 sf of floor area 96 sf - more than 60,000 sf of floor area	40 sf	48 sf - less than 60,000 sf of floor area 60 sf - more than 60,000 sf of floor area
Max. Area, Secondary	24 sf	32 sf	16 sf	24 sf
Max. Height, Primary	8 ft	12 ft	6 ft	8 ft
Max. Height, Secondary	5 ft	6 ft	5 ft	6 ft
Illumination	Externally, internally or halo lit	Externally, internally or halo lit	Externally, internally or halo lit	Externally, internally or halo lit
Min. Setback	10 ft	10 ft	10 ft	10 ft

Freestanding sign requirements from the Sign Code.

Wall Sign

Section 4.11.b of the Sign Code outlines criteria for wall signs in commercial areas. Included in this section is an allowance for properties adjacent to US 36 to have additional wall signs beyond the maximum number permitted. The additional wall signs may be up to 50% larger in area and up to 100% taller than the maximum permitted.

One waiver request seeks to apply the size allowances granted to signs facing US 36 to the proposed wall sign. Although the sign will not directly face US 36, it may be visible from the highway at a distance. The proposed sign exceeds the standard height and area limits established by the Sign Code but would conform to the maximum allowances permitted for signage oriented towards US 36.

Relocated Sign

The relocated sign, labeled as E21, is proposed to be set back approximately 12 feet from the property line. A 446-square-foot landscaped area will be installed at the sign base, satisfying the criteria in Section 4.10.b. of the Sign Code which requires a minimum of three square feet of landscaping for every one square foot of sign area. The freestanding sign is proposed to be 10 feet tall and 139.2 square feet. Oriented towards US 36, the sign meets the size and height allowances applicable to signs visible from the highway.

Sign Waiver Compliance

Section 17.28.110 of the Louisville Municipal Code sets forth the PUD waiver process and criteria. The application includes the following waiver requests:

1. Allow the quantity of freestanding signs to exceed the number permitted in Section 4.10.b.
2. Waive the architectural base and border from the proposed freestanding signs, as required in Section 4.10.b.
3. Waive the landscaping at the base of freestanding signs, as required in Section 4.10.b.
4. Allow translucent red illuminated background on five freestanding signs, where Section 3.3 does not allow background illumination.
5. Allow the area of the wall sign to exceed the maximum area permitted in Section 4.11.b.

Sign waiver requests shall be reviewed against the criteria provided in Section 2.3 of the Sign Code. Staff analysis of the sign waiver request is provided below:

- a. The proposed sign(s) shall encourage excellence in design, exhibit improved creativity, promote community aesthetics, and be appropriate with the character of the area.

*The proposed freestanding signs provide clear wayfinding throughout the hospital campus. The number of freestanding signs, design, and size align closely with what has previously been approved for the property. The proposed wall sign aligns with the proposed sign package in design and placement. **Staff find the proposal meets this criterion.***

- b. The proposed sign(s) shall be compatible with the color, materials, and design of the on-site building(s).

*The proposed signs are compatible in design, color, and materials, and align with the design of the Advent Health Avista logo. The proposed signs provide complimentary design to the hospital buildings. **Staff finds the proposal meets this criterion.***

- c. The proposed signs(s) shall be scaled and located in a manner that is compatible with the scale of the lot and the massing of the building(s), with consideration of legibility of copy area.

*The proposed freestanding signs are scaled in a similar manner to the existing freestanding signs which received previous approvals. The subject property is approximately 15.5 acres in size, and the number of proposed signs is distributed adequately compared to the lot size. The proposed wall sign is scaled adequately against the building façade. **Staff find the proposal meets this criterion.***

- d. The proposed sign(s) are otherwise in conformance with the regulations of this chapter and applicable design guidelines respecting the size, height, location, design, and appearance of the sign(s) involved.

The proposed signs align with all relevant design standards and are aligned with previous sign amendments for the hospital campus. Staff find the proposal meets this criterion.

2025 COUNCIL WORK PLAN:

This item supports the City Council's priority of Economic Vitality.

FISCAL IMPACT:

Budgeted?: **Not Applicable**

ALTERNATIVE(S):

The City Council may approve, approve with conditions, or deny the application based on compliance with the relevant review criteria, including waiver criteria.

PLANNING COMMISSION RECOMMENDATION:

On May 8, 2025, the Planning Commission adopted Resolution 7, Series 2025, recommending approval of a Planned Unit Development Amendment to replace existing freestanding signs and add a new wall sign on the hospital campus. The Planning Commission resolution is attached.

RECOMMENDATION:

Staff recommend approval of Resolution 37, Series 2025, approving a request for a Planned Unit Development (PUD) Amendment to replace existing freestanding signs and add a new wall sign on the hospital campus.

ATTACHMENT(S):

1. Resolution 37, Series 2025
2. Application materials
3. Planning Commission Resolution 7, Series 2025

**RESOLUTION NO. 37
SERIES 2025**

**A RESOLUTION APPROVING A PLANNED UNIT DEVELOPMENT AMENDMENT TO
REPLACE EXISTING FREESTANDING SIGNS AND ADD A NEW WALL SIGN ON
THE AVISTA ADVENTIST HOSPITAL CAMPUS**

WHEREAS, there has been submitted to the Louisville City Council an application for a Planned Unit Development Amendment (“PUD Amendment”) to allow the installation of freestanding and wall signs at 100 Health Park Drive; Lot 2, Health Park Subdivision Filing 6; and

WHEREAS, City staff has reviewed the information submitted and found that, with the five requested waivers, the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

WHEREAS, the Planning Commission considered the application at a duly noticed public hearing on May 8, 2025, at which hearing evidence and testimony were entered into the record and the Planning Commission voted unanimously in favor of recommending approval; and

WHEREAS, the City Council considered the application at a duly noticed public hearing on June 3, 2025, at which hearing evidence and testimony were entered into the record, including the findings in the Louisville City Council staff report dated June 3, 2025; and

WHEREAS, the City Council finds the application should be approved, as set forth herein.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO:

Section 1. The City Council of the City of Louisville, Colorado does hereby approve the application for an amendment to the Avista Adventist Hospital Planned Unit Development Amendment.

PASSED AND ADOPTED this 3rd day of June 2025.

Christopher M. Leh, Mayor

ATTEST:

Genny Kline, Interim City Clerk

Development Review Application Form

Please complete this form and include it with the submittal documents for your development review application. Applications will not be processed until all required information is provided to the satisfaction of the City of Louisville Planning Department.

Property Information

Common Address(es): 70, 80, 90, 100 Health Park Drive

Legal Description:

Lot 2, 3, and 4 Block _____ Subdivision Avista Adventist Hospital

Lot Area: _____ Sq. Ft. or 38.111 Acres

LAND USE PROCESS (check all that apply)

- ☐ Annexation
- ☐ Concept Plan
- ☐ Easement Vacation
- ☐ Oil and Gas
- ☐ General Development Plan (GDP)
 - ☐ Amendment
 - ☐ New GDP
- ☒ Planned Unit Development (PUD)
 - ☒ Amendment
 - ☐ Preliminary
 - ☐ New PUD
- ☐ Rezoning
- ☐ Special Review Use (SRU)
 - ☐ Amendment
 - ☐ New SRU
- ☐ Subdivision
 - ☐ Final or Replat
 - ☐ Preliminary Plat
- ☐ Temporary Use Permit
- ☐ Variance
- ☐ Vested Property Right
- ☐ Wireless Facility
- ☐ Other: _____

PROJECT DESCRIPTION:

This amendment to the approved PUD is to replace the existing freestanding signs with new Advent Health signage. The purpose of these signs is to direct visitors and patients to the various hospital department entrances on Lot 2 and Medical Office Buildings on Lots 3 and 4. These are existing signs that have been located for clear, concise direction, especially to the Emergency entrance. There are eleven existing freestanding signs currently installed. This is more than is allowed for commercial multi-tenant sites per current signage code. This amendment is to request waivers to replace the existing freestanding signs with new signs of similar type and size that have a unified appearance. Also the existing U.S. 36 sign will be removed and a new freestanding sign will be added within the Lot 2 property lines.

Property Owner Information

Name: Brett Spenst Entity (if applicable) AdventHealth Rocky Mountain Region

Address: 6061 S Willow Dr, Suite 210, Greenwood Village, CO 80111

Phone: 720-330-6969 Email: brett.spenst@adventhealth.com

Application Representative Information

Name: Mark Blaser Entity (if applicable) Boulder Associates, Inc.

Address: 1426 Pearl Street, Suite 300, Boulder CO 80302

Phone: 720.304.4167 Email: mblaser@boulderassociates.com

Certification/Signature

I certify that the information I have submitted is true and correct to the best of my knowledge and in filing the application and submittal documents, I am acting as and/or with the knowledge and consent of those persons who are owners of the subject property or are parties to this application.



Signature*

Brett Spenst

Print Name

06/19/2024

Date

*If acting as a representative/agent of the owner, include written authorization from the owner that certifies the agent's right to submit this application

June 14, 2024



Narrative: PUD Amendment for AdventHealth Avista Hospital Signage

AdventHealth Avista Hospital is updating the signage on their campus with their updated name and branding. Many of the existing signs on the hospital campus are nonconforming with the current sign code requirements. This PUD amendment is to request waivers for the number of freestanding signs permitted and design of the replacement signs. The waiver requests are noted on the cover sheet.

The existing freestanding signs provide clear wayfinding for patients and visitors from 88th Street and Health Park Drive to the various hospital departments and two medical office buildings on the campus. They are located to provide direction near site entrances and key parts of the internal automobile circulation. The hospital and two medical office buildings are approximately 325,000 square feet of building area. The AdventHealth Avista Hospital campus is around 48 acres.

The number of existing freestanding signs exceeds the quantity permitted per the current signage code. A waiver is requested to replace majority of the existing freestanding signs in their current location with new signs that are the same or slightly smaller in size. One existing freestanding sign is no longer required and will be removed. The existing US 36 freestanding sign is currently not located within the property lines of the hospital and a new freestanding sign will be constructed on Lot 2 of the Health Park Subdivision. The PUD amendment drawings show the existing locations of freestanding signs to be replaced, removed, and the new location for new US 36 freestanding sign location. Revised grading and landscaping around the new US 36 sign are provided. The new proposed signage design is included show the existing and new signage size and design.

1426 Pearl Street, Suite 300, Boulder, Colorado 80302
O: 303.499.7795

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

PUD AMENDMENT FOR ADVENTHEALTH AVISTA HOSPITAL SIGNAGE

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

PROJECT P246572.00

PUD AMENDMENT - ADVENTHEALTH AVISTA HOSPITAL SIGNAGE

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	02/16/25
2	COMMENT RESPONSE	4/15/25

SHEET TITLE

COVER SHEET

SHEET NUMBER

1
SHEET 1 OF 20

LEGEND	
UTILITIES	
CO	SANITARY SEWER CLEANOUT
EB	ELECTRIC BOX
EM	ELECTRIC METER
EVT	ELECTRIC VAULT
PVT	PRIER OPER/TELECOM VAULT
PH	FIRE HYDRANT
GL	GROUND LIGHT
DM	GAS METER
RR	IRIGATION
LP	LIGHT POLE
SAN	SANITARY, SANITARY SEWER
SMR	SANITARY SEWER MANHOLE
STN	STORM SEWER INLET
STMH	STORM SEWER MANHOLE
TSX	TELEPHONE/TELECOM BOX
TMH	TELEPHONE MANHOLE
TSP	TRAFFIC SIGNAL POLE
TT	ELECTRIC TRANSMISSION TOWER
TVT	TRAFFIC VAULT
WM	WATER METER
WMH	WATER MANHOLE
WV	WATER VALVE
WVP	WATER POST PIPE
POSTS	
GSP	GUARD POST
STLP	STEEL POST
MEAS.	
AC	ACRES
ALUM	ALUMINUM
ASPH	ASPHALT
BLDG	BUILDING
BR	BRICK
COLD	COLORADO
CONC	CONCRETE
EASMT	EASEMENT
FM	FILM
HWD	HAWKED
MTL	METAL
PG	PAGE
PV	PHOTOVOLTAIC PANEL
#	MORE OR LESS
REC	RECEPTION NO.
ROW	RIGHT-OF-WAY
SF	SQUARE FEET
TYP	TYPICAL
SIGNS	
CS	CAUTION SIGN
NPS	NO PARKING SIGN
RS	ROAD SIGN
SLS	SPEED LIMIT SIGN
SS	STOP SIGN
FEATURES	
—	FENCE
----	DITCH OR DRAINAGE
----	DIRT OR GRAVEL ROAD
----	ASPHALT ROAD
----	CONCRETE
----	DIRT, GRAVEL
----	PROPERTY CORNER
----	ACCESS RESTRICTION
----	CONTOUR
X	W/8 SPOT ELEVATION
UTILITY LINES	
—	OVERHEAD ELECTRIC LINE
VEGETATION	
●	DECIDUOUS TREE 1/2" 6" CALIPER
●	CONIFER TREE 1/2" 6" CALIPER
●	BUSH 1/2" 3" CALIPER

PROJECT DIRECTORY

PROPERTY OWNER ADVENTHEALTH ROCKY MOUNTAIN REGION 6061 S WILLOW DR. SUITE 210 GREENWOOD VILLAGE, CO 80111	SURVEYOR / CIVIL ENGINEER CIVILARTS 1506 KANSAS AVENUE, SUITE 2-E LONGMONT, CO 80501
ARCHITECT BOULDER ASSOCIATES, INC. 1426 PEARL ST, STE 300 BOULDER, CO 80302	LANDSCAPE ARCHITECT AYRES ASSOCIATES, INC. 3665 JOHN F KENNEDY PKWY BLDG 2, SUITE 100 FORT COLLINS, CO 80525

PROJECT DESCRIPTION

THIS AMENDMENT TO THE APPROVED PUD IS TO REPLACE THE EXISTING FREESTANDING SIGNS WITH NEW ADVENT HEALTH SIGNAGE. THE PURPOSE OF THESE SIGNS IS TO DIRECT VISITORS AND PATIENTS TO THE VARIOUS HOSPITAL DEPARTMENT ENTRANCES ON LOT 2 AND MEDICAL OFFICE BUILDINGS ON LOTS 3 AND 4. THESE ARE EXISTING SIGNS THAT HAVE BEEN LOCATED FOR CLEAR, CONCISE DIRECTION, ESPECIALLY TO THE EMERGENCY ENTRANCE. THERE ARE ELEVEN EXISTING FREESTANDING SIGNS CURRENTLY INSTALLED. THIS IS MORE THAN IS ALLOWED FOR COMMERCIAL MULTI-TENANT SITES PER CURRENT SIGNAGE CODE. THIS AMENDMENT IS TO REQUEST WAIVERS TO REPLACE NINE OF THE EXISTING FREESTANDING SIGNS WITH NEW SIGNS OF SIMILAR TYPE AND SIZE THAT HAVE A UNIFIED APPEARANCE. ALSO THE EXISTING U.S. 36 SIGN WILL BE REMOVED AND A NEW FREESTANDING SIGN WILL BE ADDED WITHIN THE LOT 2 PROPERTY LINES.

THIS PUD AMENDMENT IS TO REQUEST WAIVERS FOR THE REPLACEMENT OF THE EXISTING NONCONFORMING FREESTANDING SIGNS. EXISTING FREESTANDING SIGNS ARE PART OF APPROVED 1990 SIGNAGE PLAN AND ADMINISTRATIVE PUD AMENDMENT FOR HOSPITAL SIGNAGE IN 1997.

THERE IS NO CHANGE TO BUILDING, PAVING, PARKING, OR LOT AREAS. THERE IS NO CHANGE TO USE OR ZONING.

EXISTING ZONING: P-C

VICINITY MAP



WAIVER REQUESTS

- QUANTITY OF FREESTANDING SIGNS** – THERE ARE ELEVEN (11) EXISTING FREESTANDING SIGNS ON THE AVISTA HOSPITAL CAMPUS. THESE EXISTING FREESTANDING SIGNS PROVIDE CLEAR WAYFINDING FOR PATIENT AND VISITORS FROM 88TH STREET ALONG HEALTH PARK DRIVE TO THE HOSPITAL AND TWO MEDICAL OFFICE BUILDINGS ON 3 SEPARATE LOTS. THESE THREE BUILDING ARE ABOUT 325,000 SQUARE FEET OF BUILDING AREA OVER ROUGHLY 48 ACRES. THE LARGE SITE AREA WITH MULTIPLE BUILDINGS AND HOSPITAL DEPARTMENTS REQUIRE ADDITIONAL SIGNS THAN IS PERMITTED PER SIGNAGE CODE SECTION 4.10.B. TO PROVIDE CONSISTANT WAYFINDING. AS PART OF THE SIGNAGE REPLACEMENT, NINE (9) FREESTANDING SIGNS ARE PROPOSED TO BE REPLACED IN THE SAME LOCATION WITH THE SAME SIZE OR A SLIGHTLY SMALLER SIGN. (SIGNS E04, E05, E07, E08, E09, E12, E14, E19, E20) ONE (1) SIGN ALONG US 36 WILL BE REPLACED IN A NEW LOCATION IN LOT 2 (E21), WHICH IS PERMITTED IN ADDITION TO THE PRIMARY AND SECONDARY FRONTAGE PER SIGNAGE CODE SECTION 4.10.B. 7. ONE (1) SIGN WILL BE REMOVED AND NOT REPLACED (E06). A WAIVER IS REQUESTED TO REPLACE NINE (9) EXISTING FREESTANDING SIGNS ON CAMPUS AND MOVE ONE (1) FREESTANDING SIGN ALONG US 36 TO MAINTAIN THE EXISTING CLEAR WAYFINDING FOR PATIENT'S AND VISITORS.
- ARCHITECTURAL BASE AND BORDER** – THE EXISTING FREESTANDING SIGNS ON THE AVISTA HOSPITAL CAMPUS CURRENTLY DO NOT HAVE ARCHITECTURAL BASES OR BORDERS PER SIGNAGE CODE SECTION 4.10.B.4. AS THESE ARE EXISTING SIGNS THAT ARE BEING REPLACED, A WAIVER IS REQUESTED TO OMIT THE ARCHITECTURAL BASE AND BORDER TO AVOID EXTENSIVE REWORK OF THE EXISTING FREESTANDING SIGN FOUNDATIONS AND DAMAGE TO EXISTING LANDSCAPING.
- LANDSCAPING AT FREESTANDING SIGNS** – THE EXISTING AVISTA HOSPITAL CAMPUS HAS EXTENSIVE MATURE LANDSCAPING AND MANY OF THE EXISTING FREESTANDING SIGNS ARE LOCATED IN LANDSCAPED AREAS. A WAIVER IS REQUESTED TO ALLOW FOR THE EXISTING LANDSCAPING TO BE MAINTAINED IN LIEU OF NEW LANDSCAPING BEING ADDED AT THE EXISTING FREESTANDING SIGN LOCATIONS PER SIGNAGE CODE SECTION 4.10.B.5. THIS WOULD APPLY TO THE EXISTING FREESTANDING SIGNS BEING REPLACED IN THEIR EXISTING LOCATIONS. NEW LANDSCAPING AROUND THE NEW US 36 SIGN (E21) WILL BE PROVIDED.
- ILLUMINATION OF BACKGROUND LOGO AREA ON SIGNAGE** – CLARITY OF WAYFINDING TO THE HOSPITAL EMERGENCY DEPARTMENT IS A PRIORITY OF THE FREESTANDING SIGNAGE. TO PROVIDE THIS CLARITY, A WAIVER IS REQUESTED TO ALLOW THE AREA AROUND "EMERGENCY" ON THE FREE STANDING SIGNS TO BE A TRANSLUCENT RED TO ALLOW THIS IMPORTANT WAYFINDING TO BE EASILY VISIBLE, ESPECIALLY AT NIGHT. THIS APPLIES TO FIVE (5) FREESTANDING SIGNS (E07, E08, E09, E12, AND E14). THESE ARE INTERNALLY ILLUMINATED SIGN CABINETS AND THE REMINDER OF THE SIGNS WILL COMPLY WITH SIGNAGE CODE SECTION 3.3.1.B.
- WALL SIGN E01 AREA** - THE WALL SIGNS ARE AN INTEGRAL PART OF THE WAYFINDING TO DIRECT PATIENTS AND VISITORS TO THE AVISTA HOSPITAL CAMPUS. HOWEVER DUE TO THE TOPOGRAPHY AND BERM BETWEEN THE HOSPITAL AND US 36, THE HOSPITAL HAS MINIMAL VISIBILITY FROM MOST DIRECTIONS. TO IMPROVE VISIBILITY FROM US 36, A NEW WALL SIGN (E01) IS PROPOSED ALONG THE WEST END OF THE PATIENT WING AS THIS LOCATION IS THE MOST VISIBLE FROM US 36. THE PROPOSED LOCATION IS OVER FIVE HUNDRED FEET AT IT'S CLOSEST LOCATION TO US 36 AND ABOUT ONE THOUSAND FEET WHERE IT FACES US 36. A SIZE INCREASE IS REQUESTED TO PROVIDE NECESSARY VISIBILITY OF THIS SIGN. THE REQUESTED SIZE INCREASE IS TO USE THE PRIMARY FRONTAGE MAX SIGN AREA PER 4.11.B IN THE SIGNAGE CODE WITH THE ALLOWABLE AREA INCREASES PER 4.11.8.5 AT THIS LOCATION.

PUD AMENDMENTS

CENTENNIAL PARK HOSPITAL FINAL PUD, RECORDED 5/31/1989
MINOR AMENDMENT TO CENTENNIAL PARK HOSPITAL FINAL PUD, RECORDED 10/24/1989
ADMINISTRATIVE PUD AMENDMENT AVISTA ADVENTIST HOSPITAL SIGNAGE, 12/9/1997
AVISTA ADVENT HOSPITAL (FORMALLY CENTENNIAL HEALTH PARK) FINAL PUD, RECORDED 5/12/1999
FINAL PUD AVISTA ADVENTIST HOSPITAL POB II / ASC, RECORDED 11/6/2002
FINAL PUD AMENDMENT FOR AVISTA ADVENTIST HOSPITAL SURGERY ADDITION, RECORDED 11/2/2005

PUD NOTES

- THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO, OR REPAIR OF, MONUMENT SIGNS, PAVEMENT SURFACES, OR LANDSCAPING CAUSED DURING REPAIR OR MAINTENANCE OF UTILITIES LOCATED WITHIN PUBLIC UTILITY EASEMENTS.
- ALL DAMAGES AND REPLACEMENT COSTS FOR THE MEDIAN AND SIGN E09 AS A RESULT OF MAINTENANCE AND/OR REPLACEMENT OF THE STORM SEWER SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER

SHEET INDEX

00-PUD AMENDMENT	
1	COVER SHEET
2	OVERALL SITE PLAN
3	ENLARGED SITE PLANS
4	SIGNAGE SITE PLANS
5	GRADING PLAN SIGN E21
6	LANDSCAPE PLAN SIGN E21
7	SITE PLAN E09
8	SIGN E01
9	SIGN E04
10	SIGN E05
11	SIGN E06
12	SIGN E07
13	SIGN E08
14	SIGN E09
15	SIGN E12
16	SIGN E14
17	SIGN E19
18	SIGN E20
19	SIGN E21
20	ADDITIONAL SIGNS LEAVE AS-IS

OWNER SIGNATURE BLOCK

The undersigned as the owner of the lands described herein, hereby agrees on behalf of itself, and its heirs, successors assigns to develop and maintain the property described herein in accordance and compliance with this approved plan and the Louisville Municipal Code.

PORTER/ADVENTIST HEALTH

Witness my/hand(s) and seal(s) this _____ day of _____, 20____.

By: _____
State of _____
County of _____
Signed before me on _____, 20____
By: _____
(Notary's official signature)
(Title of office)
(Commission Expiration)

PLANNING COMMISSION CERTIFICATE

RECOMMENDED APPROVAL THIS _____ DAY OF _____, 20____ BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.
RESOLUTION NO. _____ SERIES _____

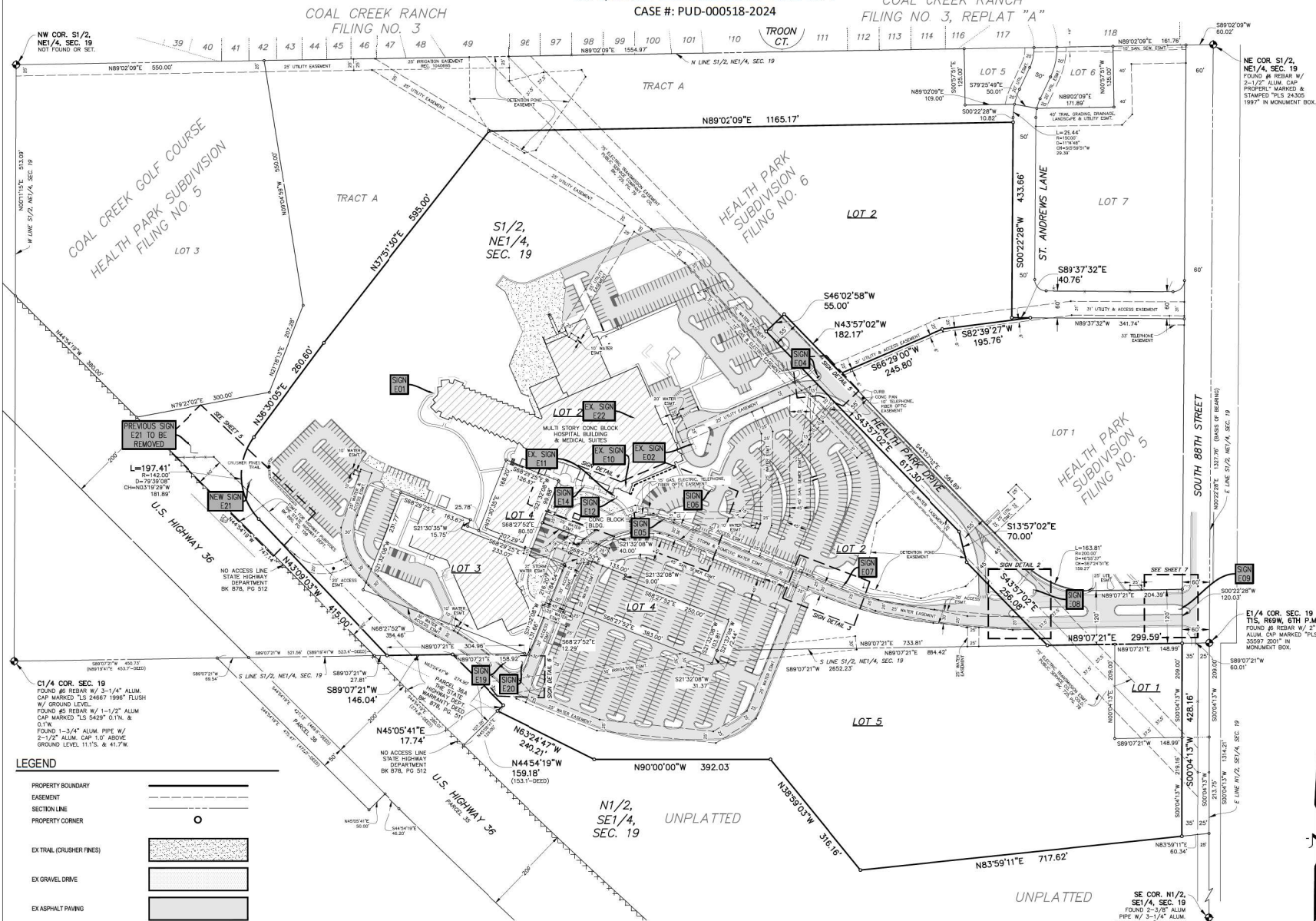
CITY COUNCIL CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20____ BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.
RESOLUTION NO. _____ SERIES _____

MAYOR _____ CITY CLERK _____ SEAL _____

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

COAL CREEK RANCH
FILING NO. 3, REPLAT "A"



811 FOR BURIED UTILITY INFORMATION
CALL 811 OR 1-800-922-1987
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
UTILITY NOTIFICATION CENTER
OF COLORADO (UNCC)
www.uncc.org



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

CIVILARTS

ENGINEERING 1: 1500 Kansas Ave., Suite 24E
Longmont, CO 80501
SURVEYING 1: P.303.682.1131
F.303.682.1149

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

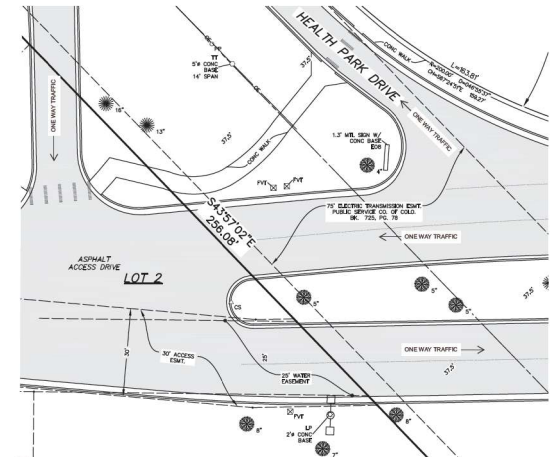
REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	COMMENT RESPONSE	4/15/25

SHEET TITLE
**OVERALL SITE
PLAN**

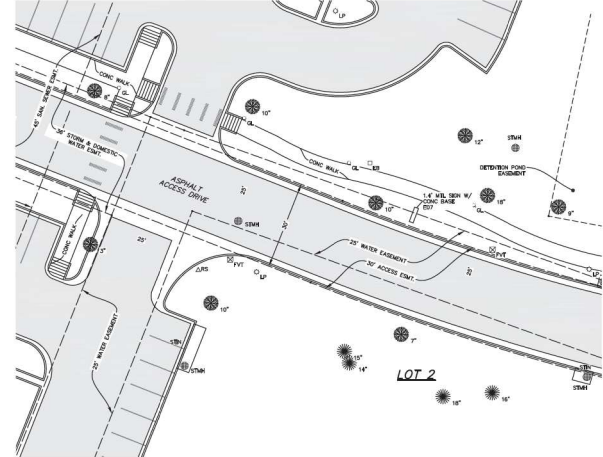
SHEET NUMBER

2
SHEET 2 OF 20

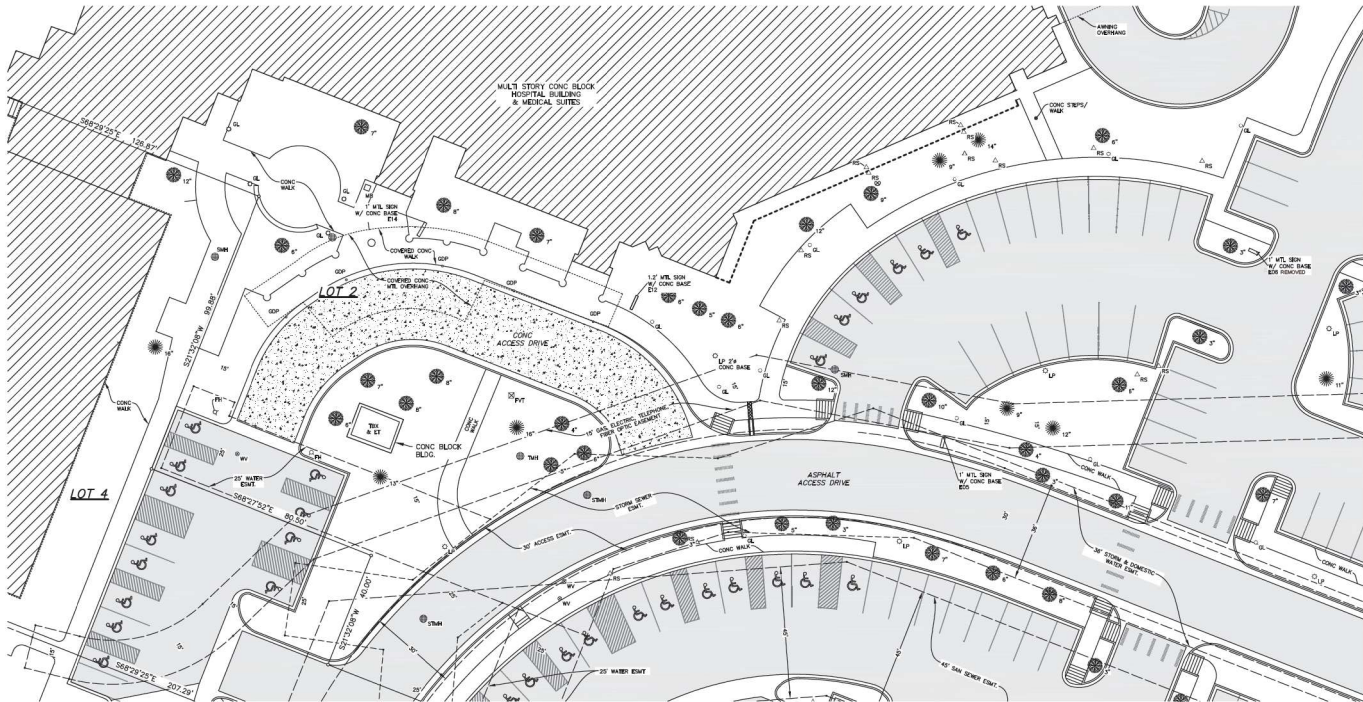
AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024



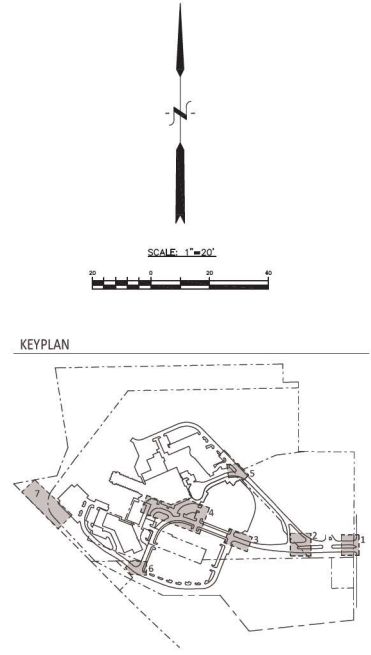
2 ENLARGED SITE PLAN - SIGN E08
1" = 20'



3 ENLARGED SITE PLAN - SIGN E07
1" = 20'



4 ENLARGED SITE PLAN - SIGNS E05, E06, E12, AND E14
1" = 20'



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BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

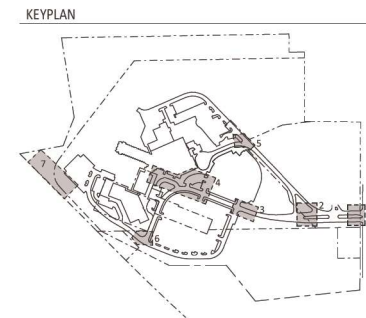
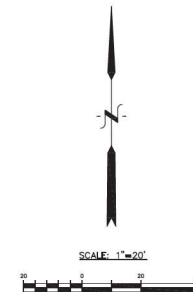
**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE	6/14/24	
REVISIONS		
	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE
ENLARGED SITE PLAN

SHEET NUMBER
3
SHEET 3 OF 20

4/7/2025
K:\ACCOUNTS\ALADVENT HEALTH\LOCATIONS\2023\CO100_Louisville\200_Antist_Permit_PUD_Ground & Building Signu_R2



**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

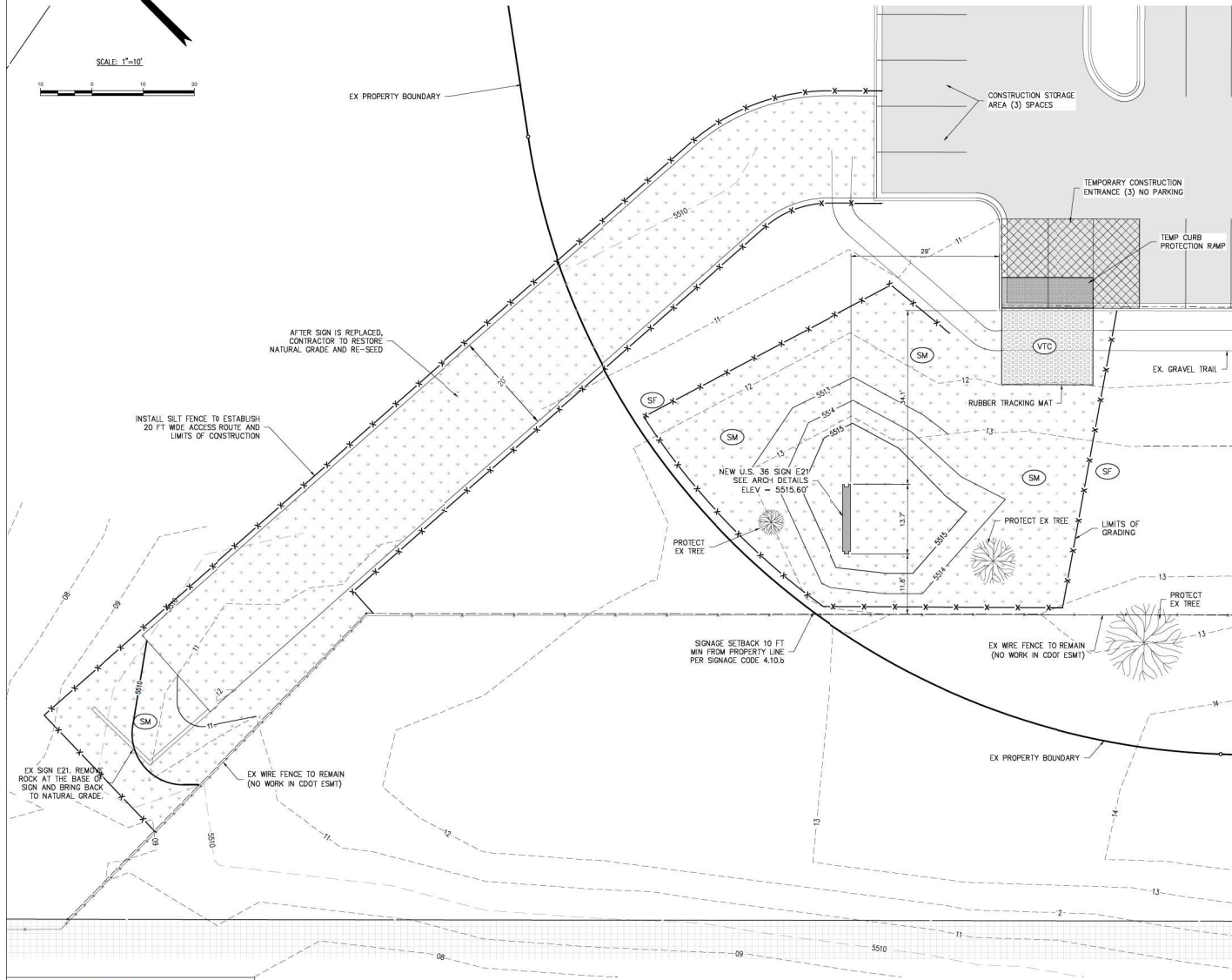
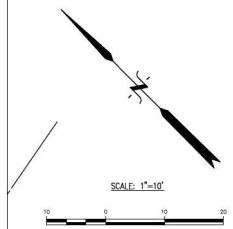
REVISIONS

	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SIGNAGE SITE PLANS

4
HEET 4 OF 20

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024



ABBREVIATIONS

BLDG	BUILDING
BTM	BOTTOM
CL	CENTERLINE
ESMT	EASEMENT
EX	EXISTING
FG	FINISHED GRADE
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
PP	POWER POLE
RCP	REINFORCED CONCRETE PIPE
SMH	SANITARY MANHOLE
SW	SWALE
TC	TOP OF CONCRETE
TYP	TYPICAL
WP	WOOD POST

EROSION CONTROL LEGEND

	SF	SILT FENCE (INITIAL, INTERIM)
	SM	OPEN SPACE SEED MULCH (FINAL)
	VTC	VEHICLE TRACKING CONTROL MAT (INTERIM)

EROSION CONTROL NOTES

1. FINAL STABILIZATION BY SEEDING AND MULCHING OR PERMANENT LANDSCAPING. USE APPROVED OPEN SPACE SEED MIX, REF LANDSCAPE PLANS.
2. ANY CONSTRUCTION FENCING SHALL BE REMOVED BY THE CONTRACTOR ONCE CONSTRUCTION IS COMPLETE.
3. ALL EROSION CONTROL BMP'S SHALL BE PER URBAN DRAINAGE AND FLOOD CONTROL DISTRICT, UNLESS OTHERWISE STATED.
4. ALL CONSTRUCTION ACTIVITIES AND ACCESS TO THE SITE SHALL OCCUR DURING GOOD WEATHER/DRY CONDITIONS TO MINIMIZE DAMAGE TO THE AREA.

LEGEND

PROPERTY BOUNDARY	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
EXISTING SPOT ELEVATION	
EXISTING PROPERTY PIN	
EX TRAIL (CRUSHER FINES)	
EX GRAVEL DRIVE	
EX ASPHALT PAVING	

LEGAL DESCRIPTION

ALL OF LOTS 1, 2, 3, 4, & 5, HEALTH PARK SUBDIVISION FILING NO. 8 LOCATED IN THE S1/2 OF THE NE1/4 AND THE N1/2 OF THE SE1/4 OF SECTION 19, T15, R99W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, ACCORDING TO THE RECORDED PLAT THEREOF.

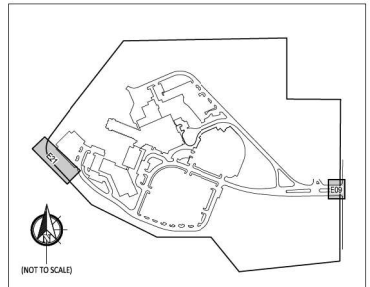
BASIS OF BEARINGS

BEARINGS SHOWN ON THE ACCOMPANYING PLAT ARE BASED ON THE ASSUMPTION THAT THE EAST LINE OF THE S1/2 OF THE NE1/4 OF SECTION 19, T15, R99W OF THE 6TH P.M., BEARS N69°22'28"E AS MONUMENTED.

BENCHMARK

THE PRIMARY BENCH MARK USED TO DETERMINE THE BASIS OF ELEVATIONS FOR THIS MAP IS CITY OF LOUISVILLE BENCHMARK LP 15, THE E1/4 CORNER OF SECTION 19, A 48 REBAR W/ 2" ALUM. CAP MARKED "PLS 35597.2001" IN MONUMENT BOX. NAVD 1988 ELEVATION = 5490.00 FEET.

KEY MAP



1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

ENGINEERING 1500 Kansas Ave., Suite 24E
Longmont, CO 80501
PLANNING
SURVEYING P 303.682.1131
F 303.682.1149

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
	COMMENT RESPONSE	01/16/25
	COMMENT RESPONSE	4/15/25

SHEET TITLE
**GRADING PLAN
SIGN E21**

SHEET NUMBER
5
SHEET 5 OF 20

FOR BURIED UTILITY INFORMATION
CALL 811 (911-888-8221-987)
THREE (3) BUSINESS DAYS
BEFORE YOU DIG
UTILITY NOTIFICATION CENTER
OF COLORADO (UNCC)
www.uncc.org

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

LANDSCAPE NOTES

- ALL LANDSCAPE AREAS SHALL BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM WITH CODE COMPLIANT BACK FLOW PREVENTION MEASURES. BEDS WILL BE WATERED VIA DRIP IRRIGATION BELOW THE MULCH SURFACE. NATIVE SEED AREAS WILL BE WATERED VIA OVERLAPPING, HEAD TO HEAD SPRAY COVERAGE. OWNER TO BE RESPONSIBLE FOR IRRIGATION MAINTENANCE.
- THIS PLAN DESCRIBES THE LANDSCAPE PORTION OF THE PROJECT ONLY. SEE OTHER SHEETS FOR SITE IMPROVEMENT INFORMATION.
- CONTRACTOR TO FIELD VERIFY ALL UTILITY LOCATIONS AND DIMENSIONS. MINOR ADJUSTMENTS TO AVOID UTILITY AND SITE CONFLICTS ARE ALLOWED. LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY NOTABLE CONFLICTS AND PROPOSED SOLUTIONS.
- EXISTING BUILDINGS, GRADING, EASEMENTS, AND UTILITIES ARE BASED ON SURVEY INFORMATION PROVIDED BY OTHERS.
- VERIFY ALL CONDITIONS AT JOB SITE AND NOTIFY LANDSCAPE ARCHITECT OF DIMENSIONAL ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE BEGINNING WORK.
- CONTOUR LINES ARE SHOWN ON LANDSCAPE PLANS FOR REFERENCE ONLY. REFERENCE CIVIL DRAWING FOR ACTUAL INFORMATION.
- OWNER TO PERFORM ONGOING MAINTENANCE CONSISTENT WITH CITY OF LOUISVILLE STANDARDS.
- PLANTING AREAS SHALL RECEIVE 4 CY SOIL AMENDMENT PER 1,000 SF. AND DECORATIVE ROCK MULCH AT 3" DEPTH OVER LANDSCAPE FABRIC. ROCK MULCH TO BE 1 1/2" MINUS BUTTER ROCK, LIGHT TAN IN COLOR.
- ALL PLANTING BEDS ADJACENT TO NATIVE SEED SHALL HAVE STEEL EDGING AS INDICATED ON PLANS.

LEGEND

- UPLAND SEED
- EXISTING TREE TO REMAIN
- STEEL EDGER
- EXISTING COUNTOUR
- PROPOSED COUNTOUR
- PROPOSED MONUMENT SIGNAGE

UPLAND SEED MIX

% OR PLS/AC	DESCRIPTION	MANUFACTURED BY
2.0 PLS/AC	SIDEPOATS GRAMA VAUGHN	ARKANSAS VALLEY SEED
3.3 PLS/AC	BUFFALOGRASS, CODY	ARKANSAS VALLEY SEED
1.0 PLS/AC	SANDBERG BLUEGRASS, CANBAR	ARKANSAS VALLEY SEED
0.7 PLS/AC	PRAIRIE JUNGLEGRASS	ARKANSAS VALLEY SEED
3.3 PLS/AC	BLUE GRAMA, NATIVE	ARKANSAS VALLEY SEED

PLANT MATERIAL SCHEDULE

SYMBOLS	ABBREV	COMMON NAME	BOTANICAL NAME	QTY	SIZE GALLONS	MATURE HEIGHT/WIDTH	TOTAL 3-YEAR COVERAGE SF (ASSUMES 90% MATURITY)
SHRUBS							
•	ACP	PANCHITO MANZANITA	ARCTOSTAPHYLOS X COLORADENSIS 'PANCHITO'	4	5 GAL	2' X 5'	70.70
		TOTAL		4			70.70 SF
DECIDUOUS							
•	POS	PHYSOCARPUS OPUFOLIUS 'SEWARD' TM	SUMMER WINE NINEBARK	2	5 GAL	4' X 6'	50.89
•	PBS	PRUNUS BESSEYI 'P0115' TM	PAWNEE BUTTES SAND CHERRY	2	5 GAL	2' X 6'	50.89
		TOTAL		4			101.77 SF
PERENNIALS							
•	ECG	EPILOBUM CANUM GARRETTI 'PWGGO15'	ORANGE CARPET HUMMINGBIRD TRUMPET	7	1 GAL	0.5' X 2'	19.78
•	OAV	OSTEOSPERMUM X AVALANCHE'	AVALANCHE WHITE SUN DAISY	18	1 GAL	1' X 2'	50.87
•	PIN	PENSTEMON PINIFOLIUS 'P0195'	STEPPE SUNSET GLOW PENSTEMON	14	1 GAL	1.5' X 2'	35.56
		TOTAL		39			110.21 SF
ORNAMENTAL GRASSES							
•	MSG	MISCANTHUS SINENSIS 'ORACILLIMUS'	MAIDEN GRASS	4	5 GAL	4' X 5'	70.70
		TOTAL		4			70.70 SF
SEED MIX							
		UP AND SEED MIX		6.8408F			
ROCK MULCH							
		1-1/2" MINUS ANGULAR BUTTER ROCK, TAN COLOR		446 SF / 3" DEPTH			

TOTAL PLANTING AREA = 446 SF
TOTAL PLANT COVERAGE (3-YRS) = 353 SF
353 SF / 446 SF = 79.10% COVERAGE

- NOTES:
- EVERGREEN SHRUBS SHALL BE PLANTED NO CLOSER THAN 3' TO CLOSEST PAVEMENT.
 - ALL PLANT CONTAINERS TO BE REMOVED PRIOR TO PLANTING.
 - BACKFILL AND WATER IN THOROUGHLY.
 - BROKEN ROOT BALLS WILL BE REJECTED.

NOTE:
PROPOSED MONUMENT SIGNAGE ± 137 FF
TOTAL LANDSCAPE AREA REQUIRED: 411 SF / PROVIDED: 446 SF

1 SHRUB PLANTING
3/4" = 1'-0"

P-2022-BEL-03

1 LANDSCAPE PLAN
SCALE: 1"=20'-0"



0 10 20

AVRES
3065 JFK Parkway, Building 2, Suite 100
Fort Collins, CO 80525
PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

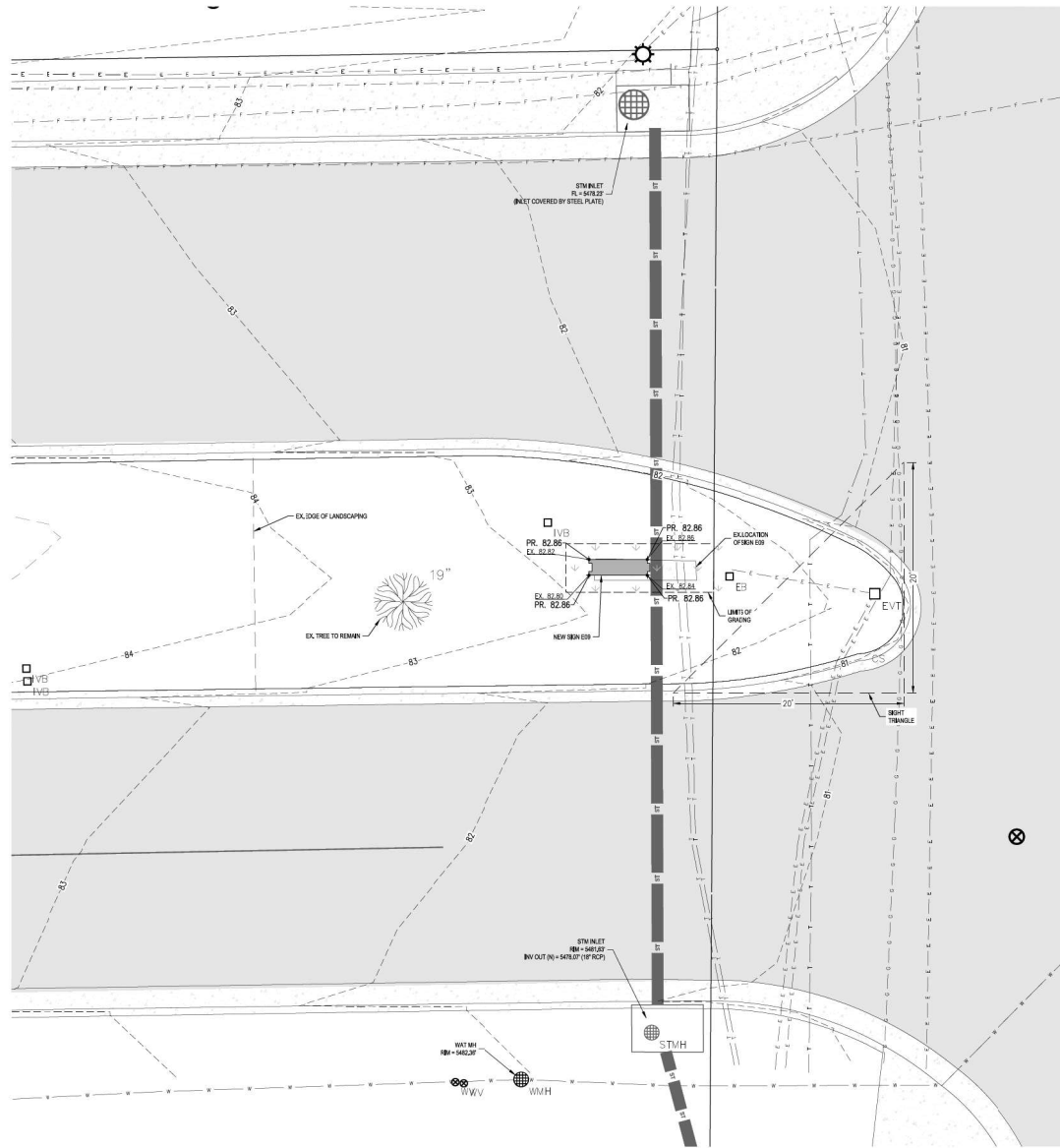
DATE 6/14/24

REVISIONS
DESCRIPTION DATE
1 COMMENT RESPONSE 01/16/25
2 COMMENT RESPONSE 4/15/25

SHEET TITLE
**LANDSCAPE PLAN
SIGN E21**

SHEET NUMBER
6
SHEET 6 OF 20

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024



ABBREVIATIONS

BLOG	BUILDING
BTM	BOTTOM
CL	CENTERLINE
ESMT	EASEMENT
EX	EXISTING
FG	FINISHED GRADE
HP	HIGH POINT
INV	INVERT
LP	LOW POINT
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RCP	REINFORCED CONCRETE PIPE
SMH	SANITARY MANHOLE
SW	SWALE
TC	TOP OF CONCRETE
TYP	TYPICAL
WP	WOOD POST

EROSION CONTROL LEGEND

	SF	SILT FENCE (INITIAL, INTERIM)
	SM	OPEN SPACE SEED MIX, MULCH (FINAL)
	VTC	VEHICLE TRACKING CONTROL MAT (INTERIM)

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LEGEND

PROPERTY BOUNDARY	
EXISTING MAJOR CONTOUR	
EXISTING MINOR CONTOUR	
PROPOSED MAJOR CONTOUR	
PROPOSED MINOR CONTOUR	
EXISTING SPOT ELEVATION	
EXISTING PROPERTY PIN	
EX. TRAIL (CRUISER FINES)	
EX. GRAVEL DRIVE	
EX. ASPHALT PAVING	

LEGAL DESCRIPTION

ALL OF LOTS 1, 2, 3, 4, 5, HEALTH PARK SUBDIVISION FILING NO. 6, LOCATED IN THE S1/2 OF THE NE1/4 AND THE N1/2 OF THE SE1/4 OF SECTION 19, T15, R99W OF THE 6TH P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, ACCORDING TO THE RECORDED PLAT THEREOF.

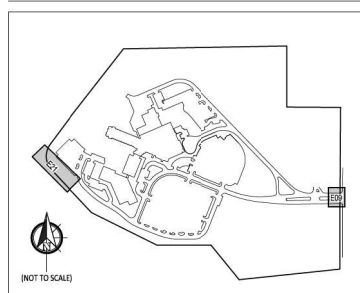
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KEY MAP



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CIVILARTS

ENGINEERING: 1530 Kansas Ave., Suite 24E Longmont, CO 80501
PLANNING: P.303.682.1131
SURVEYING: F.303.682.1149

PROJECT: P246572.00

PUD AMENDMENT - ADVENTHEALTH AVISTA HOSPITAL SIGNAGE

DATE: 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	COMMENT RESPONSE	4/15/25

SHEET TITLE: **GRADING PLAN SIGN E09**

SHEET NUMBER: **7**
SHEET 5 OF 20

E04

ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

refer to
PRODUCTION SHOP DRAWING
AD11117A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



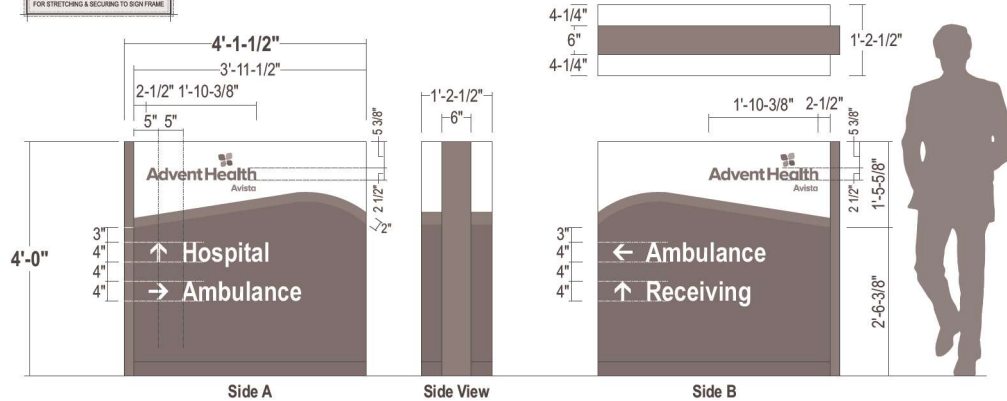
REMOVE EXISTING 4'-1-1/2" h x 5'-0" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; All background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3" h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation
to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

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PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE
SIGN E04

SHEET NUMBER
9
SHEET 9 OF 20

E05 ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

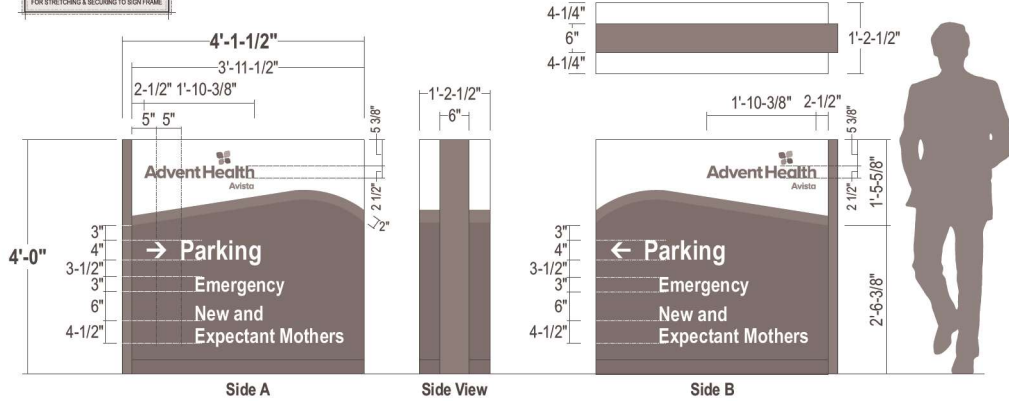
refer to
PRODUCTION SHOP DRAWING
ADH1117A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	12.4
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



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to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



PROPOSED SIDE A



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

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PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS
1 DESCRIPTION DATE
2 COMMENT RESPONSE 01/16/25
CONDENSED PAGES 4/15/25

SHEET TITLE
SIGN E05

SHEET NUMBER
10
SHEET 10 OF 20

E06 ILLUMINATED DIRECTIONAL REMOVE EXISTING

Scale: NTS

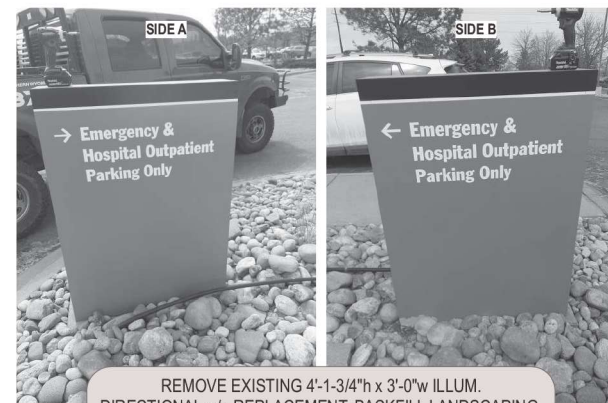
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<u>PROPOSED SIGN SF:</u>	-

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

PROPOSED



EXISTING CONDITIONS



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795



Stratus®

PROJECT	P246572.00
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**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE	6/14/24
------	---------

REVISIONS

	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

1	SHEET TITLE
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SIGN E06

SHEET NUMBER

11
SHEET 11 OF

11
SHEET 11 OF 20

E07

24.8 square feet

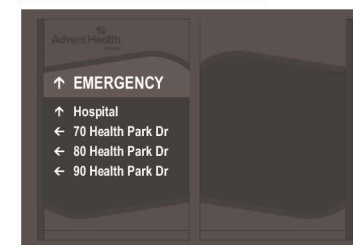
refer to
MONIGLE
CONTROL DOCUMENTS
for manufacturing details

<u>EXISTING SIGN SF:</u>	27.5
<u>PROPOSED SIGN SF:</u>	24.8

CASE #: PUD-000518-2024

NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING

SIMULATED NIGHT VIEW



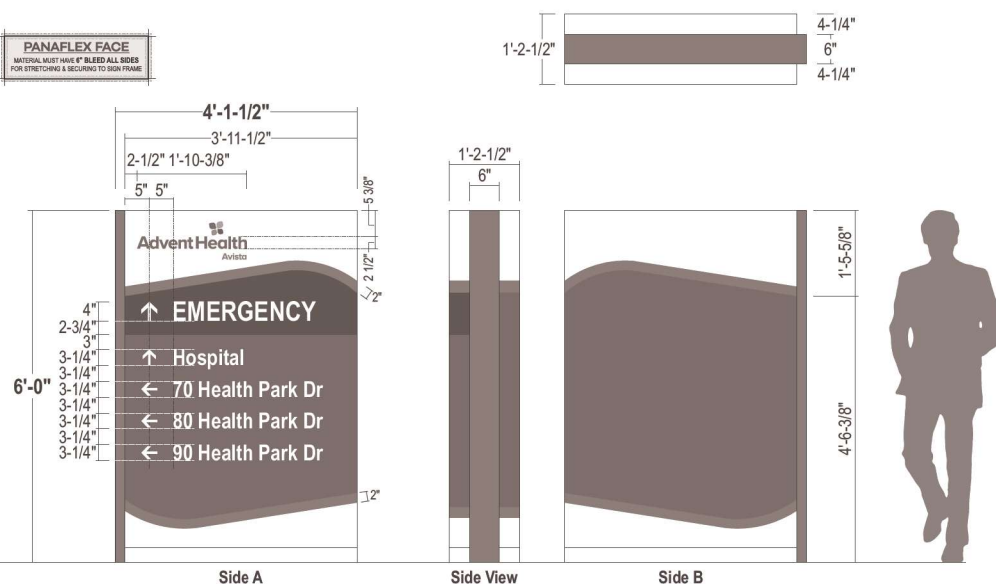
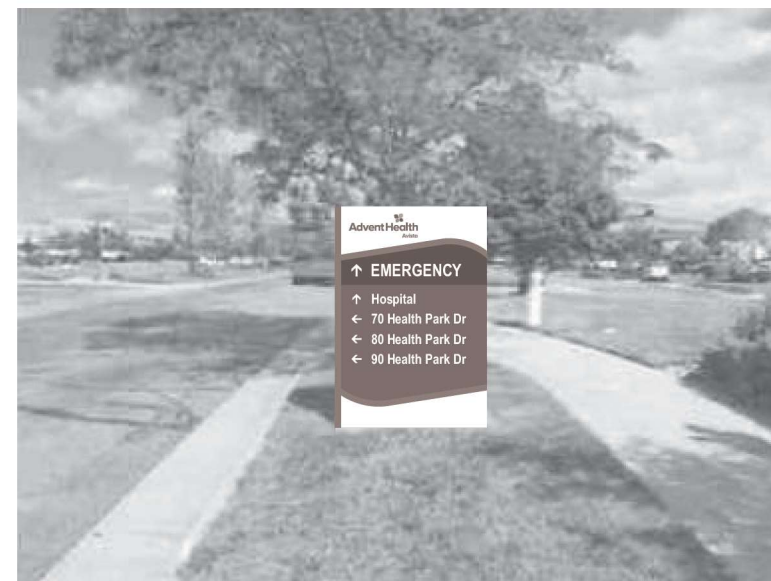
EXISTING CONDITIONS



REMOVE EXISTING 5'-8-3/4"h x 4'-9-1/2"w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



CABINET:	Sign comp extrusion - Depth as shown Returns painted to match face
CENTER CLADDING:	.125 formed alum. cladding painted Green SG finish
FACES:	3M Panagraphics III Flexible substrate
GRAPHICS:	All graphics to be digitally printed by Miratec; Background for ER Portion ONLY will illuminate (waver required from city) All other background & logo sections to be opaque; Directional copy to be reverse weeded from face to fully illuminate
ILLUM.	Agilight White LED's as required by manufacturer Power supplies housed within cabinet
BASE:	3" h .125 Break formed alum. base extrusion cover painted white SG finish
INSTALL:	Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
QUANTITY:	(1) ONE D/F Illuminated directional required
NOTE:	Connect to existing power



PROJECT	P246572.00
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**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/20

REVISIONS		
#	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

1	SHEET TITLE
---	-------------

SIGN E07

SHEET NUMBER

12
SHEET 12 OF 12

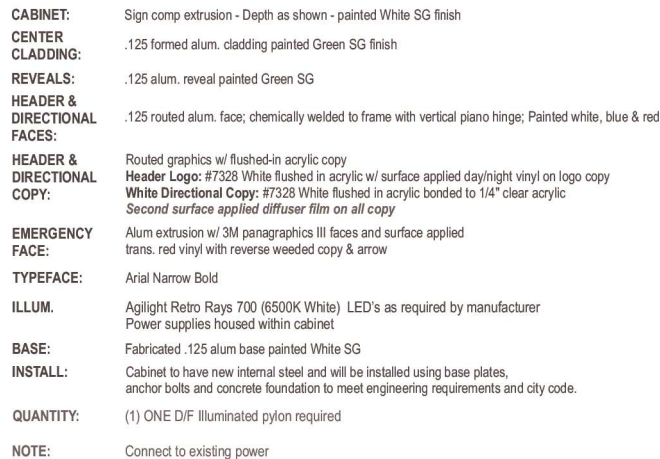
12
SHEET 12 OF 20

CUSTOM PE-12-IL

63.4 square feet

<u>EXISTING SIGN SF:</u>	80
<u>PROPOSED SIGN SF:</u>	63.4

refer to
MONIGLE
CONTROL DOCUMENTS
for manufacturing details



Advent Health
Avista

↑ EMERGENCY

- ↑ Hospital
- ← 90 Health Park Drive
- ← 90 Health Park Drive
- ← Flatirons Surgery Center
- Ambulance
- Receiving

Advent Health
Avista

↑ **EMERGENCY**

↑ Hospital

← 70 Health Park Drive

← 80 Health Park Drive

← 90 Health Park Drive

→ Ambulance

→ Receiving

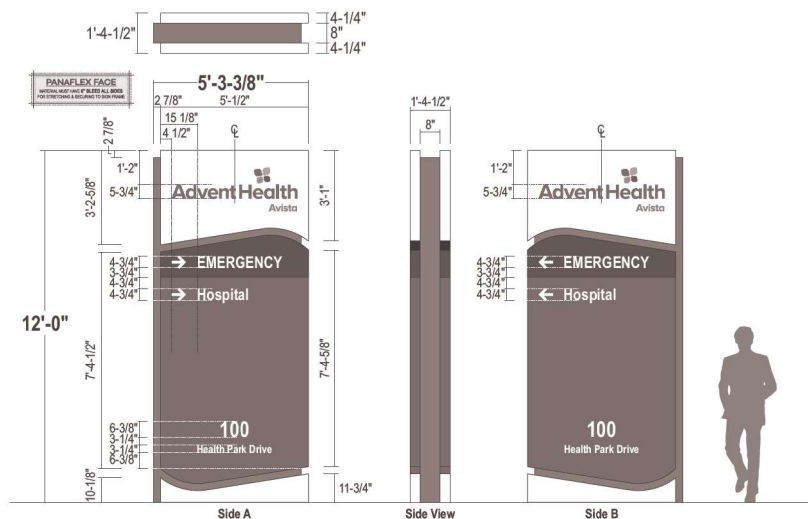
PROPOSED SIGNAGE

CUSTOM PE-12-IL

63.4 square feet

<u>EXISTING SIGN SF:</u>	112.3
<u>PROPOSED SIGN SF:</u>	63.4

refer to
MONIGLE
CONTROL DOCUMENTS
for manufacturing details



CABINET:	Sign corp extrusion - Depth as shown - painted White SG finish
CENTER CLADDING:	.125 formed alum. cladding painted Green SG finish
REVEALS:	.125 alum. reveal painted Green SG
HEADER & DIRECTIONAL FACES:	.125 routed alum. face; chemically welded to frame with vertical piano hinge; Painted white, blue & red
HEADER & DIRECTIONAL COPY:	Routed graphics w/ flushed-in acrylic copy Header Logo: #7328 White flushed in acrylic w/ surface applied day/night vinyl on logo copy White Directional Copy: #7328 White flushed in acrylic bonded to 1/4" clear acrylic <i>Second surface applied diffuser film on all copy</i>
EMERGENCY FACE:	Alum extrusion w/ 3M panagraphics III faces and surface applied trans. red vinyl with reverse weeded copy & arrow
TYPEFACE:	Arial Narrow Bold
ILLUM.	Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer Power supplies housed within cabinet
BASE:	Fabricated .125 alum base painted White SG
INSTALL:	Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
QUANTITY:	(1) ONE D/F Illuminated pylon required
NOTE:	Connect to existing power

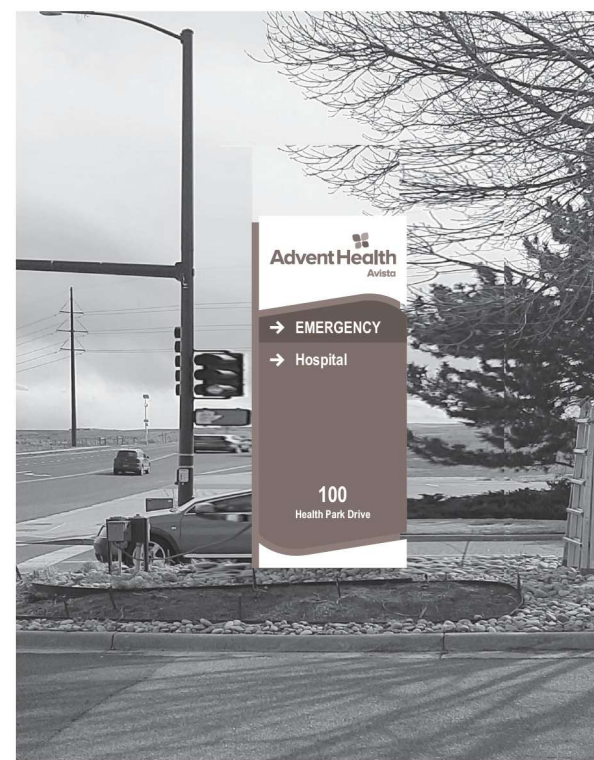
SIMULATED NIGHT VIEW:



EXISTING CONDITIONS



REMOVE EXISTING 14'-0"h x 8'-1/4"w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.



Scale: 1/2"=1'-0"

PROPOSED SIGNAGE

BA
BOULDER ASSOCIATE
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795


Stratus

PROJECT	P246572.00
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**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS		
#	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE	
-------------	--

SIGN E09

SHEET NUMBER

14

14
SHEET 14 OF 20

4/7/2025
K:\ACCOUNTS\MOVEMENT HEALTH LOCATIONS\202\UCS 100 Louisville 100 Anika Permit P110 Ground & Building Slurs R2

E12

D/F ILLUM. MONUMENT

CUSTOM ME-4-IL

Scale: 3/4"=1'-0"

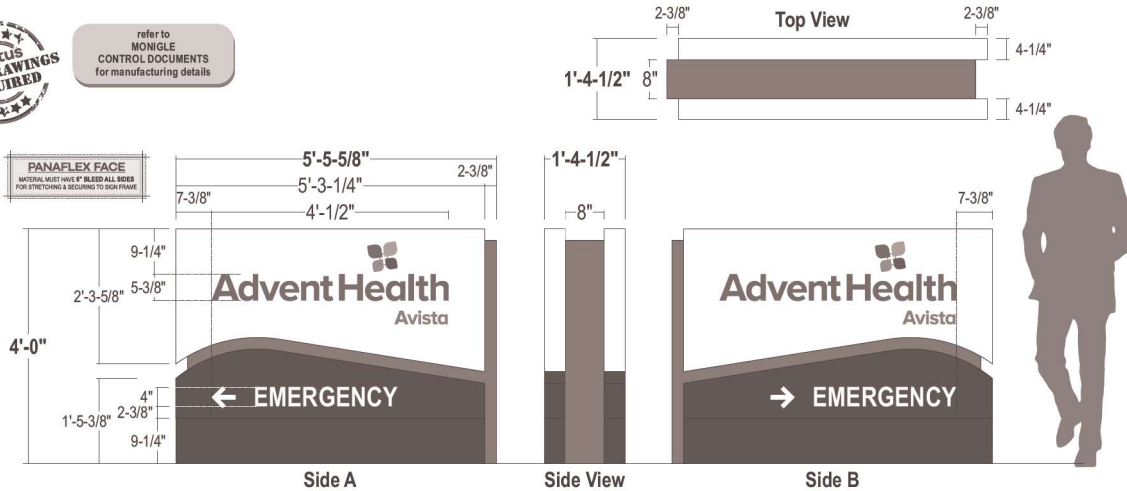
21.9 square feet

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	21.9

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024



refer to
MONIGLE
CONTROL DOCUMENTS
for manufacturing details



SIMULATED NIGHT VIEW



EXISTING CONDITIONS



- CABINET:** Sign comp extrusion - Depth as shown - painted White SG finish
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- REVEAL:** .125 alum. reveal painted Green SG
- HEADER FACE:** .125 routed alum. face; chemically welded to frame with vertical piano hinge; Painted white
- HEADER GRAPHICS:** #7328 White flushed in acrylic w/ surface applied day/night vinyl on logo copy
- EMERGENCY FACE:** Alum extrusion w/ 3M panagraphics III faces and surface applied trans. red vinyl with reverse weeded copy & arrow
- TYPEFACE:** Arial Narrow Bold
- ILLUM.:** Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer
Power supplies housed within cabinet
NOTE: WILL CONNECT TO EXISTING POWER
- BASE:** 9-1/4" .125 Break formed alum. base extrusion cover painted red SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated monument required

PROPOSED SIDE B

Scaled Proportionately



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	03/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE
SIGN E12

SHEET NUMBER
15
SHEET 15 OF 20

E14

ILLUMINATED DIRECTIONAL CUSTOM DE-48-IL

Scale: 1"=1'-0"

16.5 square feet

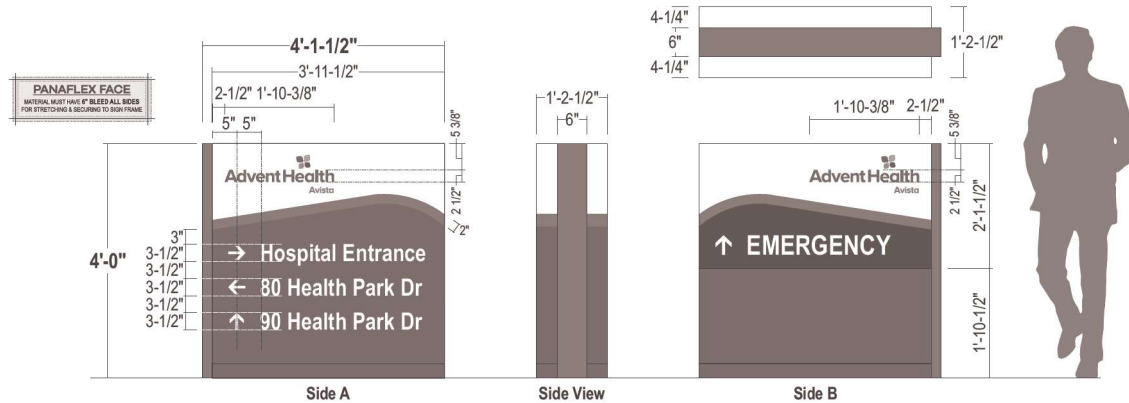
refer to
PRODUCTION SHOP DRAWING
AV11118A
for manufacturing details

refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; Background for ER Portion **ONLY** will illuminate (waiver required from city)
All other background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3"h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



REMOVE EXISTING 4'-1-1/2"h x 5'-0"w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS

REVISION	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE

SIGN E14

SHEET NUMBER

16

SHEET 16 OF 20

E19 ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

refer to
PRODUCTION SHOP DRAWING
AD11117A
for manufacturing details

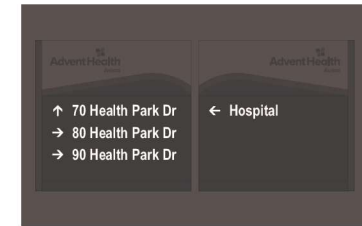
refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING

SIMULATED NIGHT VIEW



EXISTING CONDITIONS



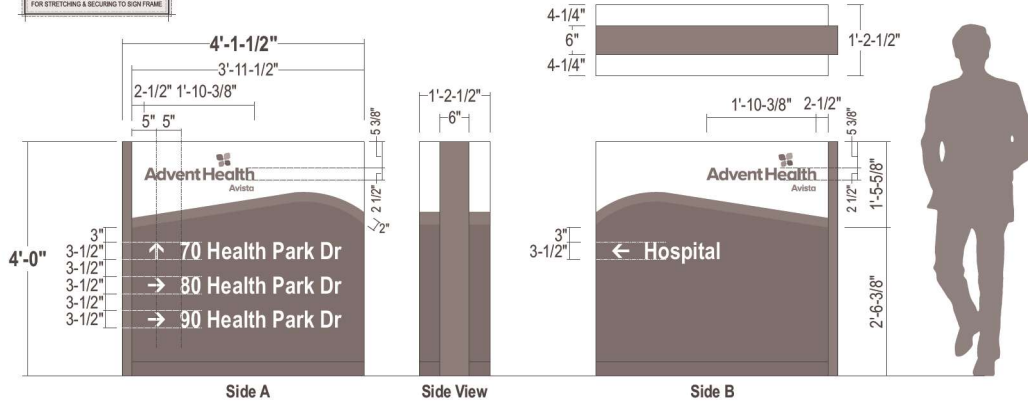
REMOVE EXISTING 4'-1-1/2" h x 3'-0" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER**
- CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; All background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3" h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation
to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24

REVISIONS	DESCRIPTION	DATE
1	COMMENT RESPONSE	01/16/25
2	CONDENSED PAGES	4/15/25

SHEET TITLE
SIGN E19

SHEET NUMBER
17
SHEET 17 OF 20

E20

ILLUMINATED DIRECTIONAL CUSTOM DB-48-IL

Scale: 1"=1'-0"

16.5 square feet

refer to
PRODUCTION SHOP DRAWING
ADH1117A
for manufacturing details

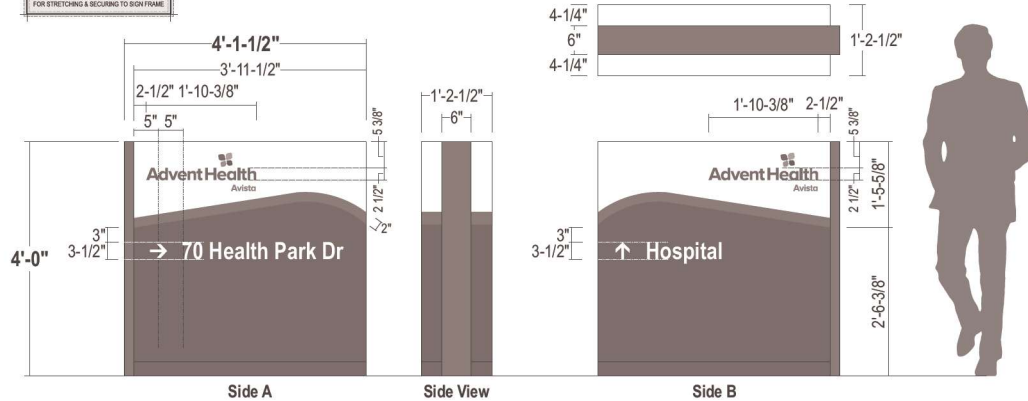
refer to
MONICLE
CONTROL DOCUMENTS
for manufacturing details

EXISTING SIGN SF:	20.6
PROPOSED SIGN SF:	16.5

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

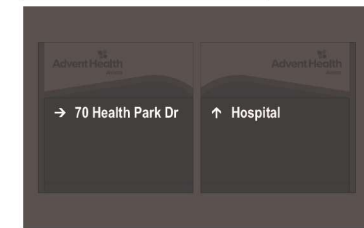
NOTE: TYPICAL COPY SIZE HAS BEEN REDUCED
ON THIS DIRECTIONAL IN ORDER TO ACCOMMODATE
LENGTH OF OVERALL READING

PANAFLEX FACE
MATERIAL MUST HAVE 6" BLEED ALL SIDES
FOR STRETCHING & SECURING TO SIGN FRAME



- CABINET:** Sign comp extrusion - Depth as shown
Returns painted to match face
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- FACES:** 3M Panagraphics III Flexible substrate
- GRAPHICS:** All graphics to be digitally printed by Miratec; All background & logo sections to be opaque;
Directional copy to be reverse weeded from face to fully illuminate
- ILLUM.** Agilight White LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** 3"h .125 Break formed alum. base extrusion cover painted white SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation
to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated directional required
- NOTE:** Connect to existing power

SIMULATED NIGHT VIEW



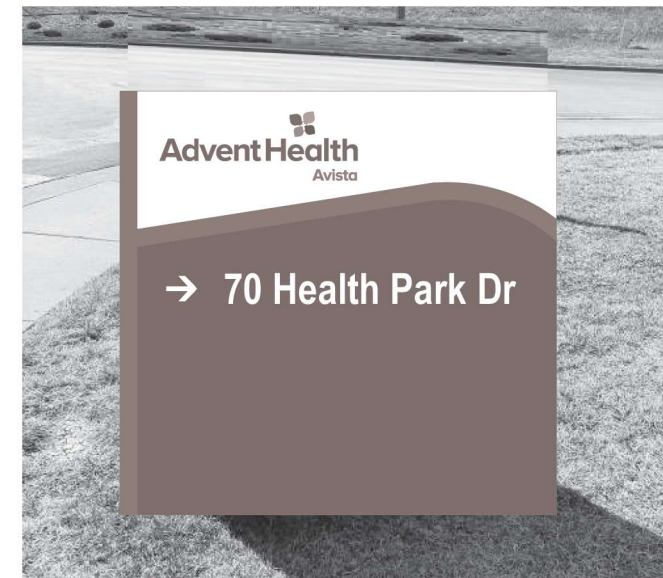
EXISTING CONDITIONS



REMOVE EXISTING 4'-1-1/2" h x 3'-0" w ILLUM.
DIRECTIONAL & REPLACE. BACKFILL LANDSCAPING.
CONNECT TO EXISTING POWER.

PROPOSED SIDE A

Scaled Proportionately



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24
REVISIONS
1 DESCRIPTION DATE
2 COMMENT RESPONSE 01/16/25
CONDENSED PAGES 4/15/25

SHEET TITLE
SIGN E20

SHEET NUMBER
18
SHEET 18 OF 20

E21

D/F ILLUM. MONUMENT

CUSTOM

Scale: 3/8"=1'-0"

139.2 square feet

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

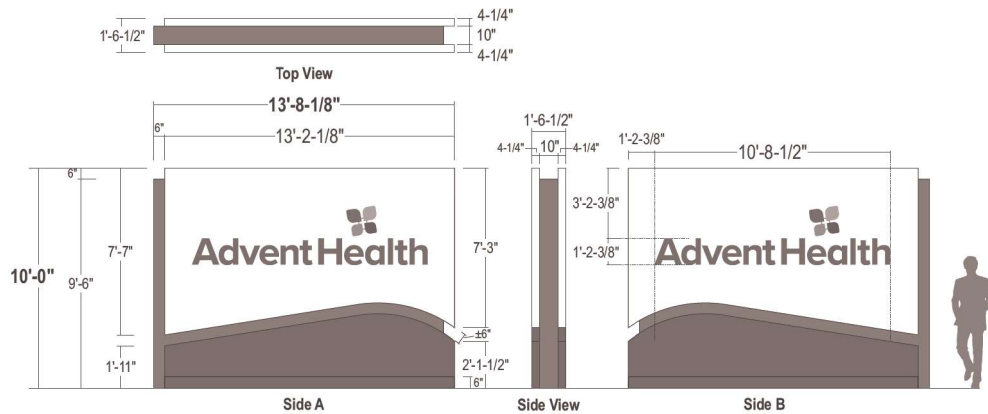
Primary; Max area 96 sf plus
50% increase oriented to US36 = 144 sf allowable.

SHOP DRAWING
NEEDS REVISION
ADH1083B
for manufacturing details

Header was changed to
Aluminum w/ Routed Graphics

EXISTING SIGN SF:	34
PROPOSED SIGN SF:	139.2

refer to
MONIGLE
CONTROL DOCUMENTS
for manufacturing details



- CABINET:** Sign comp extrusion - Depth as shown - painted White SG finish
- CENTER CLADDING:** .125 formed alum. cladding painted Green SG finish
- REVEAL:** .125 alum. reveal painted Green SG
- HEADER FACE:** .125 routed alum. face; chemically welded to frame with vertical piano hinge; Painted white
- REVEAL:** #7328 White flushed in acrylic w/ surface applied day/night vinyl on logo copy
- LOWER BLANK FACES:** .125 alum. face; chemically welded to frame with vertical piano hinge ; Paint Blue SG Finish
- ILLUM.:** Agilight Retro Rays 700 (6500K White) LED's as required by manufacturer
Power supplies housed within cabinet
- BASE:** Fabricated .125 alum removable base cladding painted blue SG finish
- INSTALL:** Cabinet to have new internal steel and will be installed using base plates, anchor bolts and concrete foundation to meet engineering requirements and city code.
- QUANTITY:** (1) ONE D/F Illuminated monument required
- JOB NOTE:** No existing power at sign location - Route electrical circuit to new sign surface prior to install. By facilities.

SIMULATED NIGHT VIEW



EXISTING CONDITIONS

NEW SIGN TO BE INSTALLED IN
DIFFERENT LOCATION - SEE NEXT PHOTO (RIGHT)
EXISTING TO BE REMOVED AFTER
PERMITS APPROVED FOR NEW SIGN.

EXISTING SIGN LOCATION



REMOVE EXISTING 4'-0" h x 8'-6" w MONUMENT.
DO NOT REPLACE. BACK FILL LANDSCAPING
& CAP EXISTING ELECTRICAL.

NEW SIGN LOCATION



NONE EXISTING.
NEW MONUMENT TO BE INSTALLED ON
2'-0" LANDSCAPING BERM TO ACHIEVE 12'-0" OAH
FINISHED LANDSCAPING TO BE COMPLETED
BY FACILITIES

NOT TO SCALE

PROPOSED



BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00

**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE 6/14/24
REVISIONS
1 DESCRIPTION DATE
2 COMMENT RESPONSE 01/16/25
CONDENSED PAGES 4/15/25

SHEET TITLE

SIGN E21

SHEET NUMBER

19
SHEET 19 OF 20

MISC. EXISTING SIGNAGE

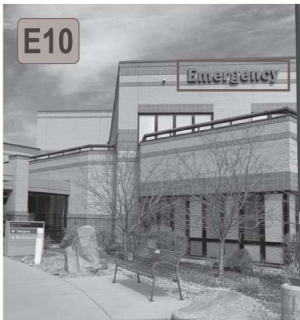
LEAVE AS-IS

AVISTA ADVENTIST HOSPITAL PUD, 6TH AMENDMENT
LOT 2, HEALTH PARK SUBDIVISION FILING NO. 6
CASE #: PUD-000518-2024

Scale: NTS



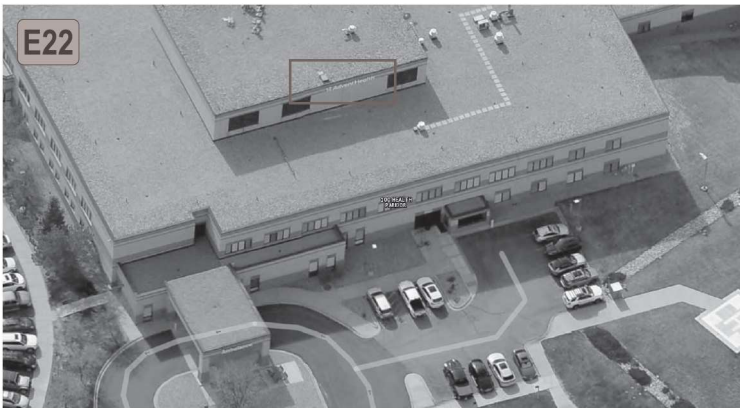
EXISTING 2'-6"h x 15'-0"w LETTERS TO REMAIN.



EXISTING EMERGENCY LETTERSET TO REMAIN AS-IS



EXISTING 10'h x 6'-1"w LETTERS TO REMAIN.



EXISTING 2'-3-5/8" x 20'-9-3/4" ADVENT HEALTH LETTERSET TO REMAIN AS-IS

BA
BOULDER ASSOCIATES
1426 PEARL STREET, SUITE 300
BOULDER, COLORADO 80302
303.499.7795

Stratus

PROJECT P246572.00
**PUD
AMENDMENT -
ADVENTHEALTH
AVISTA
HOSPITAL
SIGNAGE**

DATE	6/14/24
REVISIONS	
1	DESCRIPTION DATE
2	COMMENT RESPONSE 01/16/25
	CONDENSED PAGES 4/15/25

SHEET TITLE
**ADDITIONAL SIGNS
LEAVE AS-IS**

SHEET NUMBER
20
SHEET 20 OF 20

4/27/2025
K:\ACCOUNTS\ADVENTIST HEALTH\CORPORATE\AVISTA\COLO\Boulder\Boulder_PUD_000518-2024\Boulder_PUD_000518-2024_Signage\Boulder_PUD_000518-2024_Signage_Signage.dwg

**RESOLUTION NO. 7
SERIES 2025**

**A RESOLUTION RECOMMENDING APPROVAL OF A PLANNED UNIT
DEVELOPMENT AMENDMENT TO REPLACE EXISTING FREESTANDING SIGNS
AND ADD A NEW WALL SIGN TO THE HOSPITAL PROPERTY AT 100 HEALTH
PARK DRIVE.**

WHEREAS, there has been submitted to the Louisville Planning Commission an application for a planned unit development amendment to allow the replacement of existing directional signage and the installation of a new wall sign located at 100 Health Park Drive; and

WHEREAS, City staff have reviewed the information submitted and found that, with the five requested waivers, the application complies with the Louisville zoning regulations and other applicable sections of the Louisville Municipal Code; and

WHEREAS, the Planning Commission has considered the application at a duly noticed public hearing on May 8, 2025 where evidence and testimony were entered into the record.

NOW THEREFORE, BE IT RESOLVED that the Planning Commission of the City of Louisville, Colorado does hereby recommend approval of a planned unit development amendment to allow the replacement of existing freestanding signs and the addition of a new wall sign on the hospital campus at 100 Health Park Drive.

PASSED AND ADOPTED this 8th day of May, 2025.

By: _____
Steve Brauneis, Chair
Planning Commission

Attest: _____
Cullen Choi, Secretary
Planning Commission



City Council

June 3, 2025

100 Health Park Drive

Resolution No. 37, Series 2025 recommending approval of a PUD Amendment to replace existing freestanding signs and add a new wall sign to the hospital property at 100 Health Park Drive.



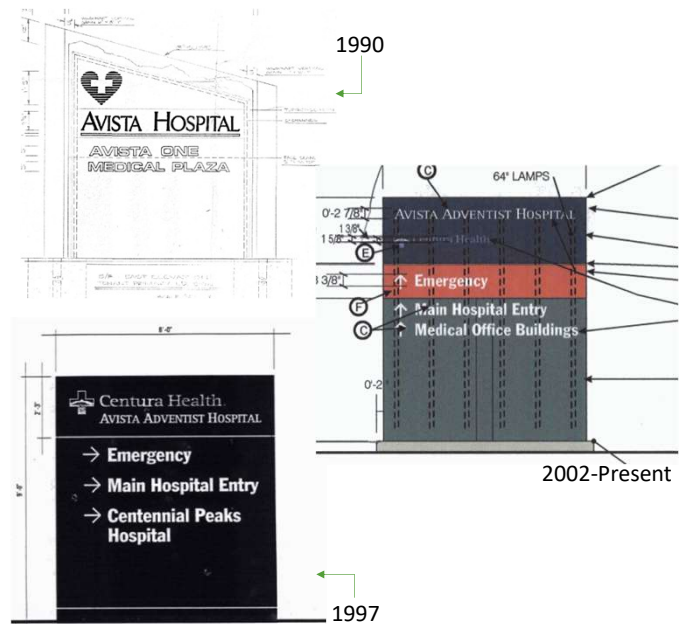
Summary

- Planned Unit Development (PUD) Amendment for new sign package
- Lots 2-4 of AdventHealth Avista Hospital property
- Replacing 9 freestanding signs
- Relocating 1 freestanding sign
- Removing 1 freestanding sign
- Adding 1 wall sign



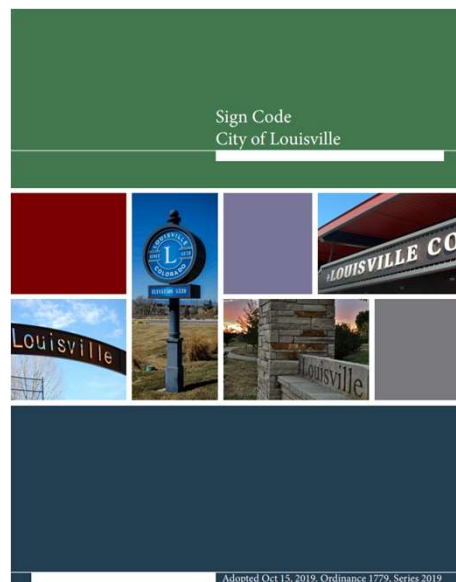
Background

- Centennial Park Hospital PUD approved in 1989
 - PUD Amendment in 1990 – Master Sign Plan
- Avista Adventist Hospital PUD approved in 1998
 - Administrative sign package PUD Amendment approved 1997
- Current signage from 2002 permit set



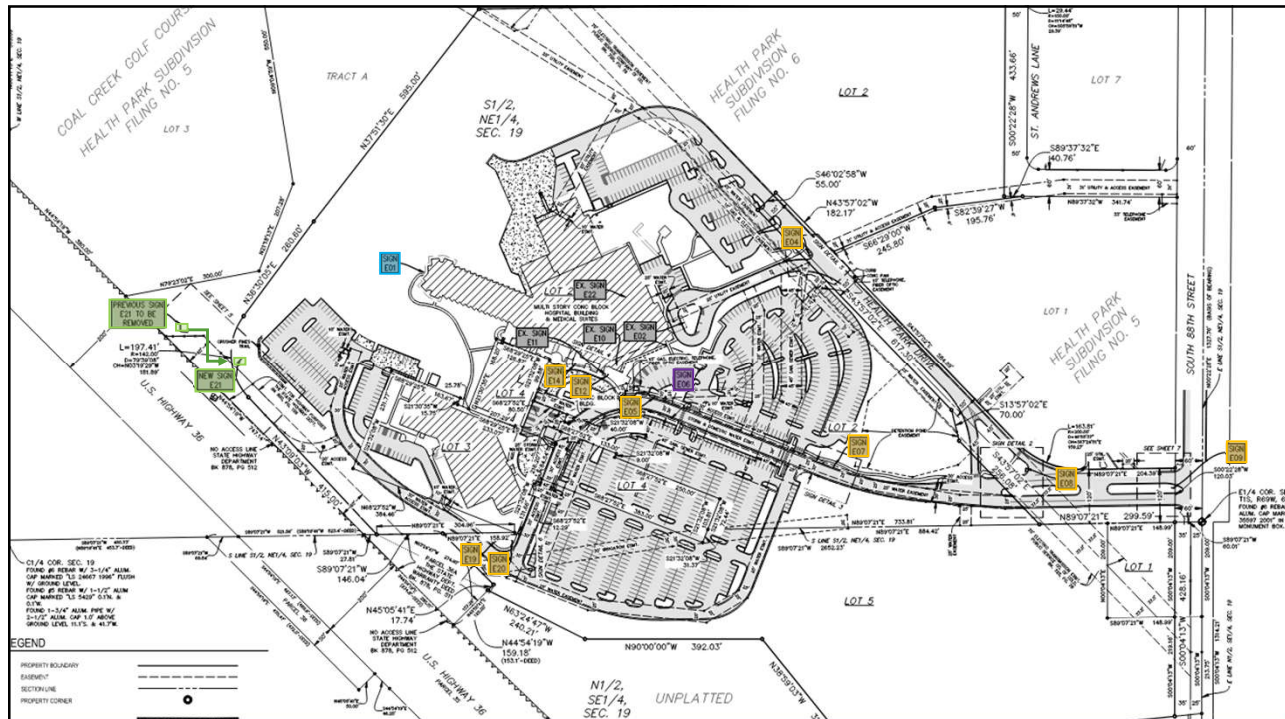
Background

- Original sign regulations adopted in 1981
 - Various updates from 1981-2006
- City-wide Sign Code adopted in 2019
 - Repealed all previous sign regulations
- All new signage must comply with 2019 Sign Code



Proposal

- Replace 9 existing freestanding signs
- Relocate 1 existing freestanding sign
- Remove 1 existing freestanding sign
- Add 1 new wall sign
- 5 sign waiver requests

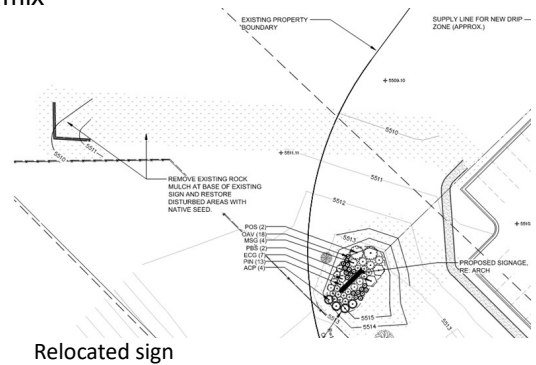


Proposal

- Signs to improve wayfinding
- Replacement signs are similar in size as existing (Table 1)
- New sign facing US 36 will be 10 feet tall and have landscaped base
 - Existing sign site will be reseeded with native seed mix
- New wall sign to be 4.4 feet tall and 131.7 SF

Table 1. Proposed and Existing Sign Sizes

Sign Number	Existing Height (feet)	Proposed Height (feet)	Existing Area (square feet)	Proposed Area (square feet)
E04	4.1	4	20.6	16.5
E05	4.1	4	12.4	16.5
E07	5.7	6	27.5	24.8
E08	10	12	80	63.4
E09	14	12	112.3	63.4
E12	4.1	4	20.6	21.9
E14	4.1	4	20.6	16.5
E19	4.1	4	12.4	16.5
E20	4.1	4	12.4	16.5



Sign Waivers

1. Allow the quantity of freestanding signs to exceed the maximum number permitted.
2. Waive the requirement of an architectural base and border from all freestanding signs.
3. Waive the landscaping requirement at the base of freestanding signs.
4. Allow illumination of red background on five freestanding signs.
5. Allow the area of the wall sign to exceed the maximum area permitted.

Analysis

- Five waivers requested, otherwise meets Sign Code criteria.
- Freestanding signs meet height and area criteria.
- Relocated sign meets all criteria.
- Wall sign meets size criteria with waiver consideration.



Analysis: Waivers

- Waivers for freestanding signs align with character, scale and placement of previously approved signage on the campus.
- Waiver for wall sign is scaled appropriately for placement and visibility.
- Proposal is otherwise in conformance with regulations of the Sign Code.

Staff Recommendation

Staff recommend approval of Resolution 37, Series 2025, a Planned Unit Development (PUD) Amendment to replace existing freestanding signs and add a new wall sign on the hospital campus with no conditions.