

REDTAIL RIDGE LIFT STATION PLANNED UNIT DEVELOPMENT

LOT 4, BLOCK 1, REDTAIL RIDGE FILING NO. 1
LOCATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 69
WEST OF THE P.M., CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO

DRAWING INDEX

SHT NO.	DWG NO.	TITLE
1 OF 13	--	COVER
2 OF 13	C-1	SITE PLAN
3 OF 13	C-2	GRADING PLAN
4 OF 13	L-1.0	LANDSCAPE NOTES
5 OF 13	L-1.1	LANDSCAPE PLANT SCHEDULE
6 OF 13	L-2.1	LANDSCAPE PLAN
7 OF 13	L-3.0	LANDSCAPE DETAILS
8 OF 13	A-1	LEGENDS BUILDING CODE
9 OF 13	A-3	ROOF PLAN
10 OF 13	A-4	BUILDING ELEVATIONS
11 OF 13	A-5	BUILDING ELEVATIONS
12 OF 13	E-1	PHOTOMETRIC PLAN WITH EMERGENCY LIGHTING
13 OF 13	E-3	LIGHTING FIXTURE CUT-SHEETS AND FIXTURES SCHEDULE

GENERAL NOTES:

1. THE PROPERTY IS ZONED PLANNED COMMUNITY COMMERCIAL.

PROJECT DESCRIPTION:

THE BUILDING WILL BE APPROXIMATELY 1,031 SQUARE FEET THAT WILL HOUSE THE LIFT STATION FOR THE REDTAIL RIDGE DEVELOPMENT. THE LIFT STATION SITE WILL ALSO HOUSE A GENERATOR WITH ITS OWN ENCLOSURE COATED TO MATCH THE LIFT STATION COLOR SCHEME AND AN HVAC AREA THAT WILL BE SCREENED FROM VIEW.

LEGAL DESCRIPTION:

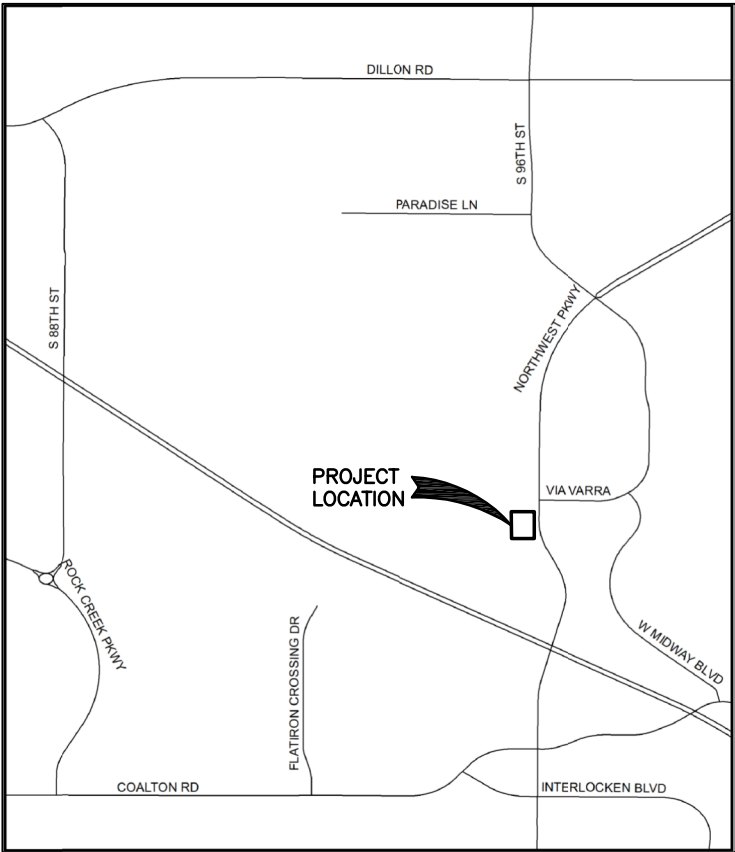
A PARCEL OF LAND BEING A PORTION OF PARCEL 5 AS DESCRIBED BY SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 03223274 OF THE BOULDER COUNTY RECORDS, SITUATED IN THE NORTHEAST QUARTER OF SECTION 29, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 29;
THENCE SOUTH 00°00'35" WEST ALONG THE EAST LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 1,180.75 FEET TO THE SOUTHEAST CORNER OF PARCEL NO. TK-75 AS DESCRIBED BY SPECIAL WARRANTY DEED RECORDED AT RECEPTION NO. 03223274, SAID POINT ALSO BEING THE **POINT OF BEGINNING**;
THENCE CONTINUING SOUTH 00°00'35" WEST ALONG SAID EAST LINE, A DISTANCE OF 136.13 FEET TO THE SOUTH LINE OF THE NORTH HALF OF SAID NORTHEAST QUARTER;
THENCE NORTH 89°42'42" WEST ALONG SAID SOUTH LINE, A DISTANCE OF 126.73 FEET;
THENCE NORTH 00°01'40" EAST, A DISTANCE OF 353.78 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 83.14 FEET, SAID CURVE HAVING A RADIUS OF 202.00 FEET, A CENTRAL ANGLE OF 23°34'55", AND A CHORD WHICH BEARS SOUTH 62°15'22" EAST A CHORD DISTANCE OF 82.55 FEET TO A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG THE ARC OF SAID CURVE TO THE RIGHT AN ARC LENGTH OF 13.21 FEET, SAID CURVE HAVING A RADIUS OF 15.00 FEET, A CENTRAL ANGLE OF 50°28'28", AND A CHORD WHICH BEARS SOUTH 25°13'39" EAST A CHORD DISTANCE OF 12.79 FEET TO THE WEST LINE OF SAID PARCEL NO. TK-75;
THENCE ALONG THE PERIMETER OF SAID PARCEL THE FOLLOWING TWO (2) COURSES:
1) SOUTH 00°00'35" WEST, A DISTANCE OF 168.13 FEET;
2) SOUTH 89°48'45" EAST, A DISTANCE OF 48.09 FEET TO THE **POINT OF BEGINNING**;

SAID PARCEL CONTAINS 32,962 SQUARE FEET OR 0.76 ACRES, MORE OR LESS.

BASIS OF BEARINGS: BEARINGS ARE BASED ON THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 29, ASSUMED TO BEAR SOUTH 00°00'35" WEST.

Notes on Sections of CDDS&G Not Applicable to Redtail Ridge Lift Station	
General	Many sections of the Commercial Development Design Standards and Guidelines do not apply to this PUD because of the nature of the building. The building is a new structure that is non-occupied and solely intended to protect the mechanical and electrical equipment inside with only very occasional visits to the site by technicians. See below for specific instances when the code is not applicable.
Section	Notes on Requirements
1.1	Access to this building will be limited to City Operations and Maintenance personnel. Public access and pedestrians do not need to be considered.
1.3	Access to this building will be limited to City Operations and Maintenance personnel. Pedestrians will not need to use this site.
2.1	Site will be accessed infrequently (max of one time a day) by one or two trucks for routine maintenance and operations activities. Public access will not be allowed. Site access has been coordinated with Operations and Maintenance.
2.2	Site visits will typically be limited to one to two City vehicles. During emergencies or major maintenance activities additional vehicles may be onsite. Parking has been coordinated with Operations and Maintenance.
3.1-3.4	Pedestrian and bicycle traffic will not need to access or traverse the site.
4.5.1.H	The pre-finished metal siding is a high quality material with a 20 year warranty that will match the aesthetics of the nearby fire station. A waiver has been requested in the PUD request letter.
4.6	Access to the building will be limited to City staff who know where the entrance to the building is. It is undesirable to attract the public to the entrance.
6.2.C	The transformer and emergency generator are not screened from the west. The generator is in its own enclosure coated to match the building. The space around the transformer is required for maintenance which does not allow for vegetation to be planted to the west of it. Future development plans call for a parking area to the west of this site which should limit the exposure of these items.
8.1D	Lighting has been coordinated with City O&M staff to provide sufficient lighting for normal and emergency activities at the lift station. Reducing the lighting will make working at the lift station more difficult and dangerous. The light on the north side of the building is a switched light that is only to be used in emergencies. It is on in the photometric plan to produce the worst case scenario. Currently the maximum lumens outside the boundary is 0.5 to the west of the lift station. This is a low light level that we do not believe will negatively affect future development on the adjoining property. The light also spreads to the adjacent road right of ways to the north and east at a maximum lumens of 0.1. We expect those right of ways will be illuminated to a higher level than this by the road lighting.
9	This is not a large retail establishment.



VICINITY MAP

OWNERSHIP SIGNATURE BLOCK

By signing this PUD, the owner acknowledges and accepts all the requirements and intent set forth in this PUD. Witness my/our hand(s) seal(s) this ____ day of _____, 20 ____.

Owner Name and Signature

Notary Name (print) (Notary Seal)

Notary Signature

My Commission Expires _____

PLANNING COMMISSION CERTIFICATE

Approved this ____ day of _____, 20 ____ by the Planning Commission of the City of Louisville, Colorado.
Resolution No. _____, Series _____

CITY COUNCIL CERTIFICATE

Approved this ____ day of _____, 20 ____ by the City Council of the City of Louisville, Colorado.
Resolution No. _____, Series _____
(City Seal)
Mayor Signature
City Clerk Signature

Contact Information

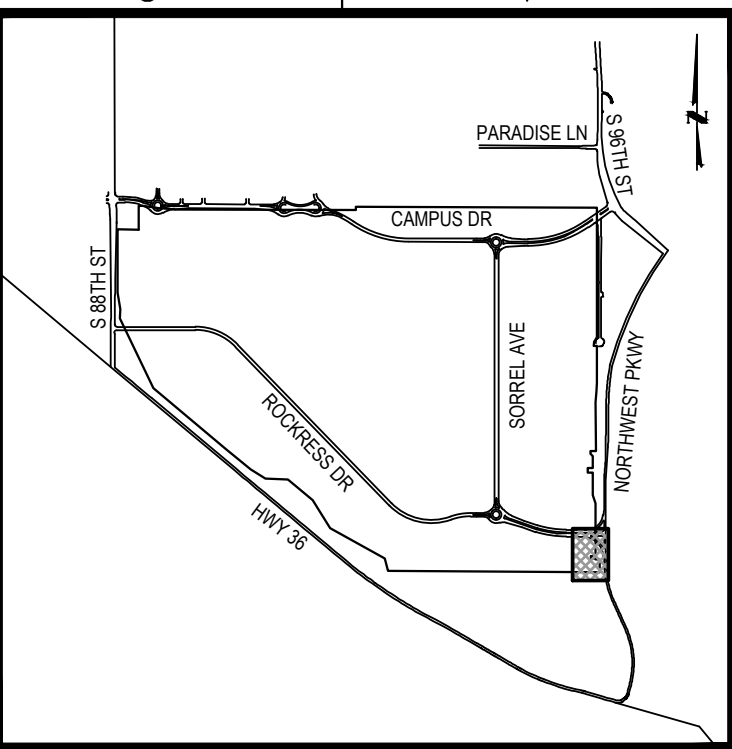
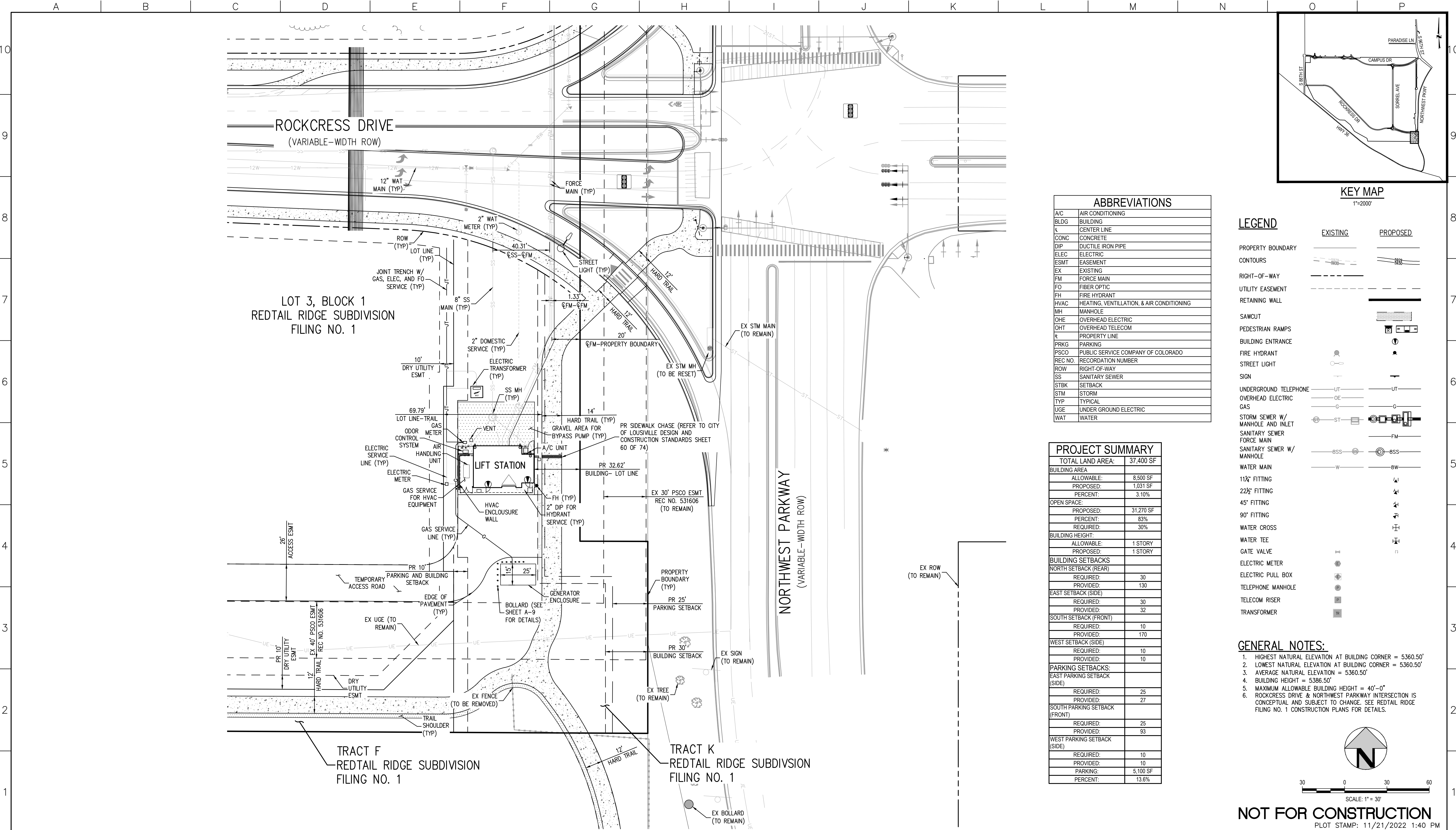
Landowner:
Redtail Ridge Development, LLC
1555 Blake Street, Suite 210
Denver, CO 80202
Applicant:
Jay Hardy
1555 Blake Street, Suite 210
Denver, CO 80202
970-581-8863
jay.hardy@bruebaukol.com
Architect:
Lintjer+Haywood Architects
Bruce Lintjer
303-408-5939
blintjer@lintjer-haywood.com
Landscape Architect:
Norris Design
Jacob Kophamer
303-892-1166
jkophamer@norris-design.com
Photometric Engineer:
Dewberry Engineers Inc.
Stephen Blucher
919-424-3775
sblucher@dewberry.com

PLANNED UNIT DEVELOPMENT SUBMITTAL
JANUARY 2023



Dewberry[®]
Dewberry Engineers Inc.

990 S. BROADWAY, SUITE 400
Denver, Colorado 80209
(303) 825-1802



ABBREVIATIONS	
A/C	AIR CONDITIONING
BLDG	BUILDING
CL	CENTER LINE
CONC	CONCRETE
DIP	DUCTILE IRON PIPE
ELEC	ELECTRIC
ESMT	EASEMENT
EX	EXISTING
FM	FORCE MAIN
FO	FIBER OPTIC
FH	FIRE HYDRANT
HVAC	HEATING, VENTILLATION, & AIR CONDITIONING
MH	MANHOLE
OHE	OVERHEAD ELECTRIC
OHT	OVERHEAD TELECOM
PL	PROPERTY LINE
PRKG	PARKING
PSCO	PUBLIC SERVICE COMPANY OF COLORADO
REC NO.	RECORDATION NUMBER
ROW	RIGHT-OF-WAY
SS	SANITARY SEWER
STBK	SETBACK
STM	STORM
TYP	TYPICAL
UGE	UNDER GROUND ELECTRIC
WAT	WATER

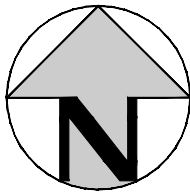
PROJECT SUMMARY	
TOTAL LAND AREA:	37,400 SF
BUILDING AREA	
ALLOWABLE:	8,500 SF
PROPOSED:	1,031 SF
PERCENT:	3.10%
OPEN SPACE:	
PROPOSED:	31,270 SF
PERCENT:	83%
REQUIRED:	30%
BUILDING HEIGHT:	
ALLOWABLE:	1 STORY
PROPOSED:	1 STORY
BUILDING SETBACKS	
NORTH SETBACK (REAR)	
REQUIRED:	30
PROVIDED:	130
EAST SETBACK (SIDE)	
REQUIRED:	30
PROVIDED:	32
SOUTH SETBACK (FRONT)	
REQUIRED:	10
PROVIDED:	170
WEST SETBACK (SIDE)	
REQUIRED:	10
PROVIDED:	10
PARKING SETBACKS:	
EAST PARKING SETBACK (SIDE)	
REQUIRED:	25
PROVIDED:	27
SOUTH PARKING SETBACK (FRONT)	
REQUIRED:	25
PROVIDED:	93
WEST PARKING SETBACK (SIDE)	
REQUIRED:	10
PROVIDED:	10
PARKING:	5,100 SF
PERCENT:	13.6%

LEGEND

	EXISTING	PROPOSED
PROPERTY BOUNDARY		
CONTOURS		
RIGHT-OF-WAY		
UTILITY EASEMENT		
RETAINING WALL		
SAWCUT		
PEDESTRIAN RAMPS		
BUILDING ENTRANCE		
FIRE HYDRANT		
STREET LIGHT		
SIGN		
UNDERGROUND TELEPHONE	UT	UT
OVERHEAD ELECTRIC	OE	OE
GAS	G	G
STORM SEWER W/ MANHOLE AND INLET	ST	ST
SANITARY SEWER FORCE MAIN	FM	FM
SANITARY SEWER W/ MANHOLE	SS	SS
WATER MAIN	W	W
11 1/2" FITTING		
22 1/2" FITTING		
45" FITTING		
90" FITTING		
WATER CROSS		
WATER TEE		
GATE VALVE		
ELECTRIC METER		
ELECTRIC PULL BOX		
TELEPHONE MANHOLE		
TELECOM RISER		
TRANSFORMER		

GENERAL NOTES:

- HIGHEST NATURAL ELEVATION AT BUILDING CORNER = 5360.50'
- LOWEST NATURAL ELEVATION AT BUILDING CORNER = 5360.50'
- AVERAGE NATURAL ELEVATION = 5360.50'
- BUILDING HEIGHT = 5386.50'
- MAXIMUM ALLOWABLE BUILDING HEIGHT = 40'-0"
- ROCKCRESS DRIVE & NORTHWEST PARKWAY INTERSECTION IS CONCEPTUAL AND SUBJECT TO CHANGE. SEE REDTAIL RIDGE FILING NO. 1 CONSTRUCTION PLANS FOR DETAILS.



SCALE: 1" = 30'

NOT FOR CONSTRUCTION

PLOT STAMP: 11/21/2022 1:40 PM

Dewberry
Dewberry Engineers Inc.
990 S. BROADWAY, SUITE 400
Denver, Colorado 80209
(303) 825-1802

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT 2"-SCALE ACCORDINGLY)

DRAWING_0000
DRAWN_MB
DESIGNED_TJS
CHECKED_MSM

APPROVED:

PRINCIPAL

DATE:

REVISIONS

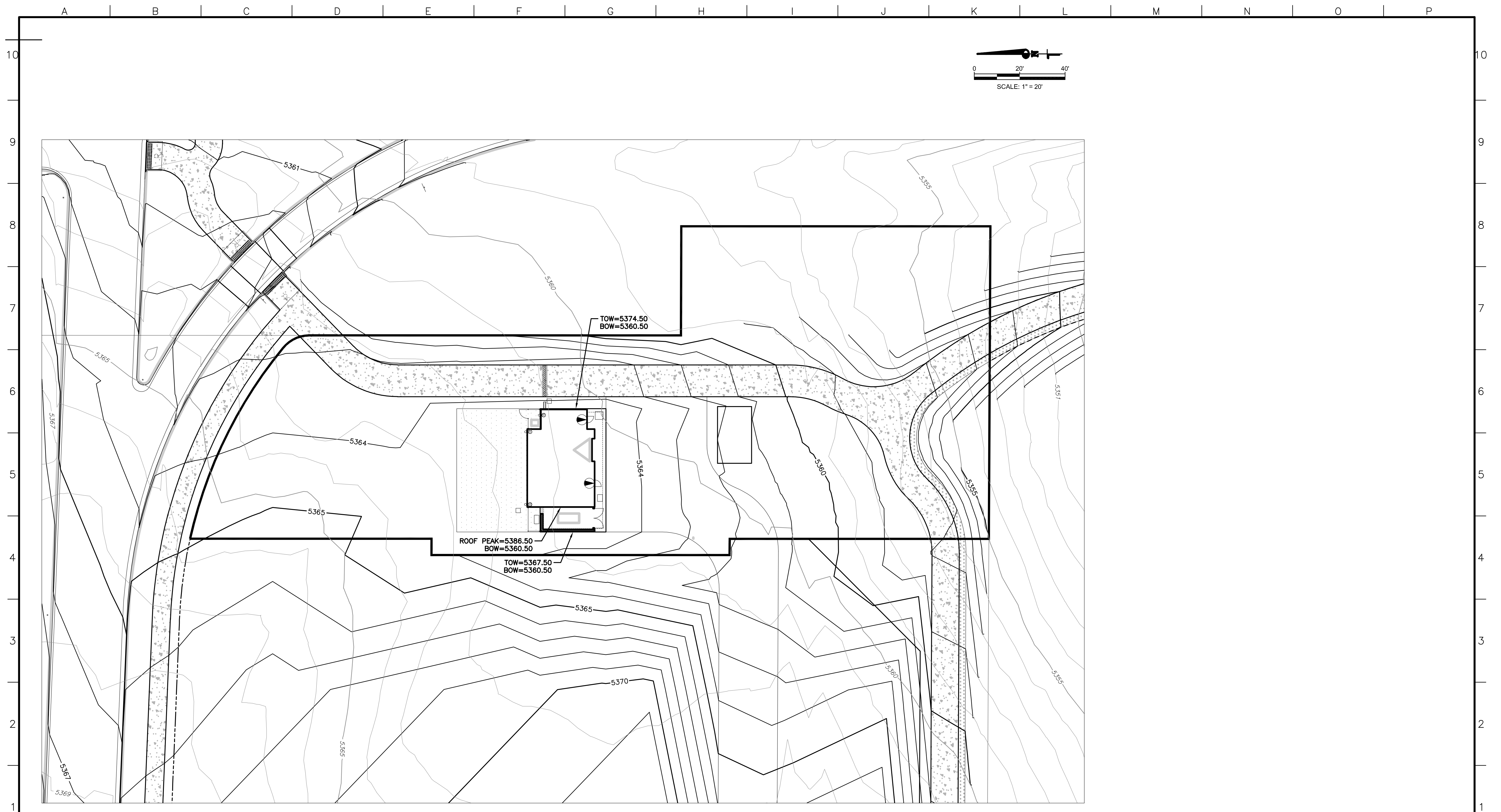
REV.	DESCRIPTION	BY	DATE	APP.
A	90% DESIGN REVIEW SUBMITTAL	TS	10/01/21	MM
B	PER CITY COMMENTS	TS	04/12/22	MM

DEWBERRY ENGINEERING INC.

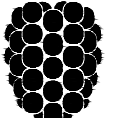
REDTAIL RIDGE FILING NO. 1

SITE PLAN

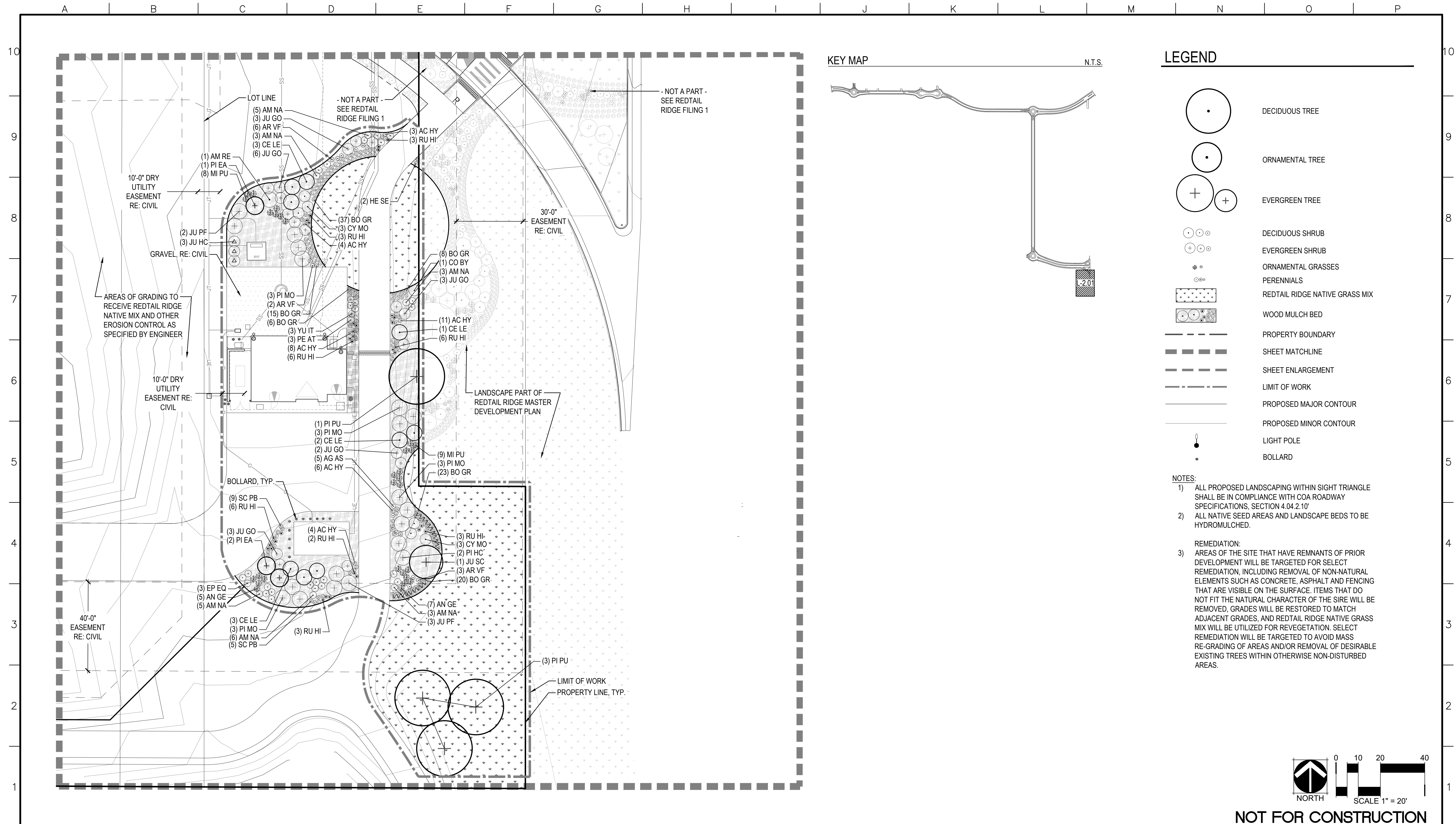
DATE: 08-23-2021
PROJECT NUMBER: PROJ#
REVISION NO. REV.#
DRAWING NUMBER
C-1
SHEET NUMBER
2 of 13



A		B		C		D		E		F		G		H		I		J		K		L		M		N		O		P																			
 Dewberry [®] Dewberry Engineers Inc. 990 S. BROADWAY, SUITE 400 Denver, Colorado 80209 (303) 825-1802		LINE IS 2 INCHES AT FULL SIZE (IF NOT 2"=SCALE ACCORDINGLY) DRAWING <u>CPL19483-1</u> DRAWN <u>TWL</u> DESIGNED <u>SEF</u> CHECKED <u>SEF</u>		APPROVED: PRINCIPAL DATE: <td colspan="5"> REVISIONS <table border="1"> <thead> <tr> <th>REV.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> <th>APP.</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>PUD RESUBMITTAL</td> <td>TWL</td> <td>01/12/23</td> <td>SEF</td> </tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table> </td> <td colspan="6"> REDTAIL RIDGE METROPOLITAN DISTRICT LOUISVILLE, COLORADO </td> <td colspan="6"> CIVIL </td> <td colspan="2"> DATE: 01/11/23 PROJECT NUMBER: 50119483 REVISION NO. A DRAWING NUMBER C-2 SHEET NUMBER 3 of 13 </td>		REVISIONS <table border="1"> <thead> <tr> <th>REV.</th> <th>DESCRIPTION</th> <th>BY</th> <th>DATE</th> <th>APP.</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>PUD RESUBMITTAL</td> <td>TWL</td> <td>01/12/23</td> <td>SEF</td> </tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td><td> </td><td> </td></tr> </tbody> </table>					REV.	DESCRIPTION	BY	DATE	APP.	A	PUD RESUBMITTAL	TWL	01/12/23	SEF																REDTAIL RIDGE METROPOLITAN DISTRICT LOUISVILLE, COLORADO						CIVIL						DATE: 01/11/23 PROJECT NUMBER: 50119483 REVISION NO. A DRAWING NUMBER C-2 SHEET NUMBER 3 of 13	
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	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P
10	GENERAL LANDSCAPE NOTES															
	1. THE CONTRACTOR SHALL FOLLOW THE LANDSCAPE PLANS AND SPECIFICATIONS AS CLOSELY AS POSSIBLE. ANY SUBSTITUTION OR ALTERATION SHALL NOT BE ALLOWED WITHOUT APPROVAL OF THE OWNER'S REPRESENTATIVE. OVERALL PLANT QUANTITY AND QUALITY SHALL BE CONSISTENT WITH THE PLANS. 2. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKES PRECEDENCE OVER WRITTEN QUANTITIES. 3. THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO INSPECT AND TAG ALL PLANT MATERIAL PRIOR TO SHIPPING TO THE SITE. IN ALL CASES, THE OWNER'S REPRESENTATIVE MAY REJECT PLANT MATERIAL AT THE SITE IF MATERIAL IS DAMAGED, DISEASED, OR DECLINING IN HEALTH AT THE TIME OF ONSITE INSPECTIONS OR IF THE PLANT MATERIAL DOES NOT MEET THE MINIMUM SPECIFIED STANDARD IDENTIFIED ON THE PLANS AND IN THE SPECIFICATIONS. THE CONTRACTOR SHALL COORDINATE WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION AND APPROVAL OF ALL MATERIALS AND PRODUCTS PRIOR TO INSTALLATION. 4. THE OWNER'S REPRESENTATIVE MAY ELECT TO UPSIZE PLANT MATERIAL AT THEIR DISCRETION BASED ON SELECTION, AVAILABILITY, OR TO ENHANCE SPECIFIC AREAS OF THE PROJECT. THE CONTRACTOR SHALL VERIFY PLANT MATERIAL SIZES WITH OWNER'S REPRESENTATIVE PRIOR TO PURCHASING, SHIPPING OR STOCKING OF PLANT MATERIALS. SUBMIT CHANGE ORDER REQUEST TO OWNER'S REPRESENTATIVE FOR APPROVAL IF ADDITIONAL COST IS REQUESTED BY THE CONTRACTOR PRIOR TO INSTALLATION. RE-STOCKING CHARGES WILL NOT BE APPROVED IF THE CONTRACTOR FAILS TO SUBMIT A REQUEST FOR MATERIAL CHANGES. 5. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS. 6. REFER TO IRRIGATION PLANS FOR LIMITS AND TYPES OF IRRIGATION DESIGNED FOR THE LANDSCAPE. IN NO CASE SHALL IRRIGATION BE EMITTED WITHIN THE MINIMUM DISTANCE FROM BUILDING OR WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. ALL IRRIGATION DISTRIBUTION LINES, HEADS AND EMITTERS SHALL BE KEPT OUTSIDE THE MINIMUM DISTANCE AWAY FROM ALL BUILDING AND WALL FOUNDATIONS AS STIPULATED IN THE GEOTECHNICAL REPORT. 7. LANDSCAPE MATERIAL LOCATIONS SHALL HAVE PRECEDENCE OVER IRRIGATION MAINLINE AND LATERAL LOCATIONS. COORDINATE INSTALLATION OF IRRIGATION EQUIPMENT SO THAT IT DOES NOT INTERFERE WITH THE PLANTING OF TREES OR OTHER LANDSCAPE MATERIAL. 8. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING POSITIVE DRAINAGE EXISTS IN ALL LANDSCAPE AREAS. SURFACE DRAINAGE ON LANDSCAPE AREAS SHALL NOT FLOW TOWARD STRUCTURES AND FOUNDATIONS. MAINTAIN SLOPE AWAY FROM FOUNDATIONS PER THE GEOTECHNICAL REPORT RECOMMENDATIONS. ALL LANDSCAPE AREAS BETWEEN WALKS AND CURBS SHALL DRAIN FREELY TO THE CURB UNLESS OTHERWISE IDENTIFIED ON THE GRADING PLAN. IN NO CASE SHALL THE GRADE, TURF THATCH, OR OTHER LANDSCAPE MATERIALS DAM WATER AGAINST WALKS. MINIMUM SLOPES ON LANDSCAPE AREAS SHALL BE 2%; MAXIMUM SLOPE SHALL BE 25% UNLESS SPECIFICALLY IDENTIFIED ON THE PLANS OR APPROVED BY THE OWNER'S REPRESENTATIVE. 9. PRIOR TO INSTALLATION OF PLANT MATERIALS, AREAS THAT HAVE BEEN COMPACTED OR DISTURBED BY CONSTRUCTION ACTIVITY SHALL BE THOROUGHLY LOOSENEED TO A DEPTH OF 8" - 12" AND AMENDED PER SPECIFICATIONS. 10. ALL LANDSCAPED AREAS ARE TO RECEIVE ORGANIC SOIL PREPARATION AT 3 cu.yrds/1,000sf OR AS NOTED IN THE TECHNICAL SPECIFICATIONS. 11. TREES SHALL NOT BE LOCATED IN DRAINAGE SWALES, DRAINAGE AREAS, OR UTILITY EASEMENTS. CONTACT OWNER'S REPRESENTATIVE FOR RELOCATION OF PLANTS IN QUESTIONABLE AREAS PRIOR TO INSTALLATION. 12. THE CENTER OF EVERGREEN TREES SHALL NOT BE PLACED CLOSER THAN 8' AND THE CENTER OF ORNAMENTAL TREES CLOSER THAN 6' FROM A SIDEWALK, STREET OR DRIVE LANE. EVERGREEN TREES SHALL NOT BE LOCATED ANY CLOSER THAN 15' FROM IRRIGATION ROTOR HEADS. NOTIFY OWNER'S REPRESENTATIVE IF TREE LOCATIONS CONFLICT WITH THESE STANDARDS FOR FURTHER DIRECTION. 13. ALL EVERGREEN TREES SHALL BE FULLY BRANCHED TO THE GROUND AND SHALL NOT EXHIBIT SIGNS OF ACCELERATED GROWTH AS DETERMINED BY THE OWNER'S REPRESENTATIVE. 14. ALL TREES ARE TO BE STAKED AND GUYED PER DETAILS FOR A PERIOD OF 1 YEAR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING STAKES AT THE END OF 1 YEAR FROM ACCEPTANCE OF LANDSCAPE INSTALLATION BY THE OWNER'S REPRESENTATIVE. OBTAIN APPROVAL BY OWNER'S REPRESENTATIVE PRIOR TO REMOVAL. 15. ALL TREES INSTALLED ABOVE RETAINING WALLS UTILIZING GEO-GRID MUST BE HAND DUG TO PROTECT GEO-GRID. IF GEO-GRID MUST BE CUT TO INSTALL TREES, APPROVAL MUST BE GIVEN BY OWNER'S REPRESENTATIVE PRIOR TO DOING WORK. RETAINING WALLS OVER 36" IN HEIGHT SHALL REQUIRE A CIVIL ENGINEER TO OVERSEE THE PLANTING. 16. ALL TREES IN SEED OR TURF AREAS SHALL RECEIVE MULCH RINGS. OBTAIN APPROVAL FROM OWNER'S REPRESENTATIVE FOR ANY TREES THAT WILL NOT BE MULCHED FOR EXCESSIVE MOISTURE REASONS. 17. SHRUB, GROUNDCOVER AND PERENNIAL BEDS ARE TO BE CONTAINED BY 6" x 14 GAUGE GREEN, ROLL TOP, INTERLOCKING TYPE EDGER, RYERSON OR EQUAL. EDGER IS NOT REQUIRED WHEN ADJACENT TO CURBS, WALLS, WALKS OR SOLID FENCES WITHIN 3' OF PRE-MULCHED FINAL GRADE. EDGER SHALL NOT BE REQUIRED TO SEPARATE MULCH TYPES UNLESS SPECIFIED ON THE PLANS. 18. ALL SHRUB BEDS, GROUND COVER, AND PERENNIAL FLOWER BEDS SHALL BE MULCHED WITH 3" DEPTH DOUBLE SHREDDDED CEDAR MULCH. NO WEED CONTROL FABRIC IS REQUIRED. ALL NATIVE SEED AREAS TO BE MULCHED WITH HYDROMULCH, WITH 26.0 PLS/ACRE REDTAIL RIDGE GRASS SEED MIX ADDED TO HYDROMULCH BEFORE APPLICATION. 19. AT SEED AREA BOUNDARIES ADJACENT TO EXISTING NATIVE AREAS, OVERLAP ABUTTING NATIVE AREAS BY THE FULL WIDTH OF THE SEEDER. 20. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES. DISTURBED NATIVE AREAS WHICH ARE TO REMAIN SHALL BE OVER SEEDED AND RESTORED WITH SPECIFIED SEED MIX. 21. CONTRACTOR SHALL OVER SEED ALL MAINTENANCE OR SERVICE ACCESS BENCHES AND ROADS WITH SPECIFIED SEED MIX UNLESS OTHERWISE NOTED ON THE PLANS. 22. ALL SEEDED SLOPES EXCEEDING 25% IN GRADE (4:1) SHALL RECEIVE EROSION CONTROL BLANKETS. PRIOR TO INSTALLATION, NOTIFY OWNER'S REPRESENTATIVE FOR APPROVAL OF LOCATION AND ANY ADDITIONAL COST IF A CHANGE ORDER IS NECESSARY. 23. WHEN COMPLETE, ALL GRADES SHALL BE WITHIN +/- 1/8" OF FINISHED GRADES AS SHOWN ON THE PLANS. 24. SOFT SURFACE TRAILS NEXT TO MANICURED TURF OR SHRUB BEDS SHALL BE CONTAINED WITH 6" x 14 GAUGE GREEN ROLL TOP EDGER, RYERSON OR EQUAL. 25. THE CONTRACTOR IS EXPECTED TO KNOW AND UNDERSTAND THE CITY AND COUNTY SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION. IN CASES OF DISCREPANCIES THE HIGHER OF THE TWO STANDARDS SHALL HAVE PRECEDENCE.															
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	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P
	 Dewberry Dewberry Engineers Inc. 990 S. BROADWAY, SUITE 400 Denver, Colorado 80															

PLANT SCHEDULE LIFT STATION																SEED MIX															
EVERGREEN TREES QUANTITY 1 4 3 BOTANICAL NAME JUNIPERUS SCOPULORUM PICEA PUNGENS PINUS LEUCODERMIS 'EMERALD ARROW' COMMON NAME ROCKY MOUNTAIN JUNIPER COLORADO SPRUCE EMERALD ARROW BOSNIAN PINE ROOT B & B B & B B & B MATURE SIZE 40' H X 15' W 60' H X 20' W 30' H X 8' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED 0.20 .5% TOTAL 54.0 PLS# / ACRE 100%															
DECIDUOUS SHRUBS 2-4' SPREAD QUANTITY 25 3 3 BOTANICAL NAME AMORPHA NANA EPHEDRA EQUISETINA PEROVSKIA ATRIPLICIFOLIA COMMON NAME FALSE INDIGO BLUESTEM JOINT FIR RUSSIAN SAGE ROOT #5 CONT. #5 CONT. #5 CONT. MATURE SIZE 2' H X 2' W 4' H X 4' W 5' H X 4' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED 0.20 .5% TOTAL 54.0 PLS# / ACRE 100%															
DECIDUOUS SHRUBS 5-7' SPREAD QUANTITY 1 6 BOTANICAL NAME CORNUS SERICEA 'BUD'S YELLOW' CYTISUS SCOPARIUS 'MOONLIGHT' COMMON NAME BUD'S YELLOW DOGWOOD MOONLIGHT BROOM ROOT #5 CONT. #5 CONT. MATURE SIZE 8' H X 6' W 6' H X 6' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED 0.20 .5% TOTAL 54.0 PLS# / ACRE 100%															
DECIDUOUS SHRUBS 7-9' SPREAD QUANTITY 1 9 BOTANICAL NAME AMELANCHIER ALNIFOLIA 'REGENT' CERCOCARPUS LEDIFOLIUS COMMON NAME REGENT SERVICEBERRY CURL-LEAF MOUNTAIN MAHOGANY ROOT #5 CONT. #5 CONT. MATURE SIZE 6' H X 6' W 30' H X 12' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED 0.20 .5% TOTAL 54.0 PLS# / ACRE 100%															
EVERGREEN SHRUB 2-4' SPREAD QUANTITY 3 BOTANICAL NAME YUCCA FLACCIDA 'IVORY TOWER' COMMON NAME IVORY TOWER YUCCA ROOT #5 CONT. MATURE SIZE 4' H X 4' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED 0.20 .5% TOTAL 54.0 PLS# / ACRE 100%															
EVERGREEN SHRUBS 2-5' SPREAD QUANTITY 3 BOTANICAL NAME JUNIPERUS CHINENSIS 'HETZII COLUMNARIS' COMMON NAME HETZI COLUMN JUNIPER ROOT CONT. MATURE SIZE 15' H X 5' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED 0.20 .5% TOTAL 54.0 PLS# / ACRE 100%															
EVERGREEN SHRUBS 5-7' SPREAD QUANTITY 17 BOTANICAL NAME JUNIPERUS VIRGINIANA 'GREY OWL' COMMON NAME GREY OWL JUNIPER ROOT #5 CONT. MATURE SIZE 3' H X 6' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED 0.20 .5% TOTAL 54.0 PLS# / ACRE 100%															
EVERGREEN SHRUBS 7-9' SPREAD QUANTITY 5 12 2 BOTANICAL NAME JUNIPERUS X MEDIA 'PFITZERANA' PICEA PUNGENS 'MONTGOMERY' PINUS SYLVESTRIS 'HILLSIDE CREEPER' COMMON NAME PFITZER JUNIPER MONTGOMERY SPRUCE HILLSIDE CREEPER SCOTCH PINE ROOT #5 CONT. #5 CONT. #5 CONT. MATURE SIZE 12' H X 10' W 12' H X 12' W 3' H X 8' W																REDTAIL RIDGE NATIVE GRASS SEED MIX PLS# / ACRE % OF TOTAL BUFFALO GRASS 21.6 41.5% SIDEOATS GRAMA 9.8 19% WESTERN WHEATGRASS 8.6 16% BLUE GRAMA 4.0 8% BOTTLEBRUSH SQUIRRELTAIL 4.0 8% GREEN NEEDLEGRASS 2.8 5% PRAIRIE JUNEGRASS 1.0 2% SAND DROPSEED															



LINE IS 2 INCHES
AT FULL SIZE
(IF NOT 2"—SCALE ACCORDINGLY)

DRAWING _____
DRAWN JK _____
DESIGNED JK _____
CHECKED JC _____

APPROVED:
JK, MS, MR

PRINCIPAL
JC

DATE:
12/02/2022

[illegible]

REDTAIL REDGE METROPOLITAN DISTRICT
LOUISVILLE, COLORADO

REDTAIL RIDGE LIFT STATION

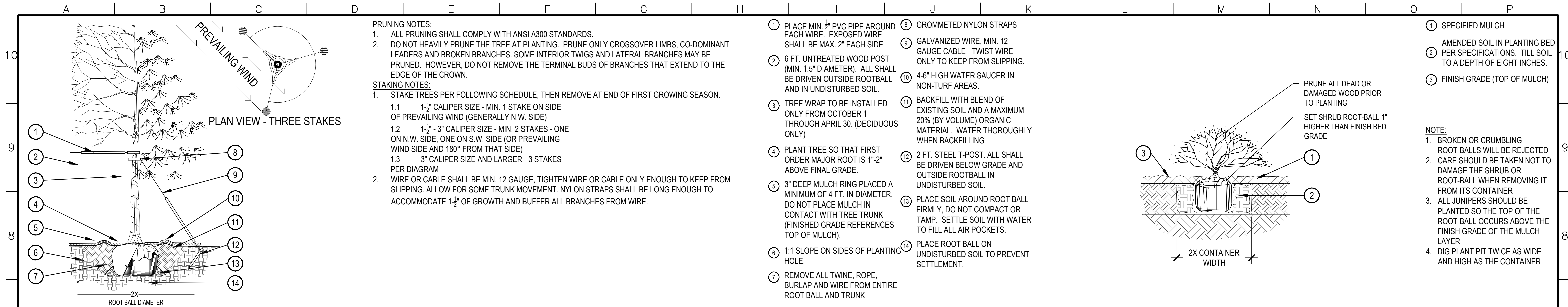
LANDSCAPE PLAN

DATE: 12/20/22
PROJECT: 50110483

REVISION NO.	A
DRAWING NUMBER	

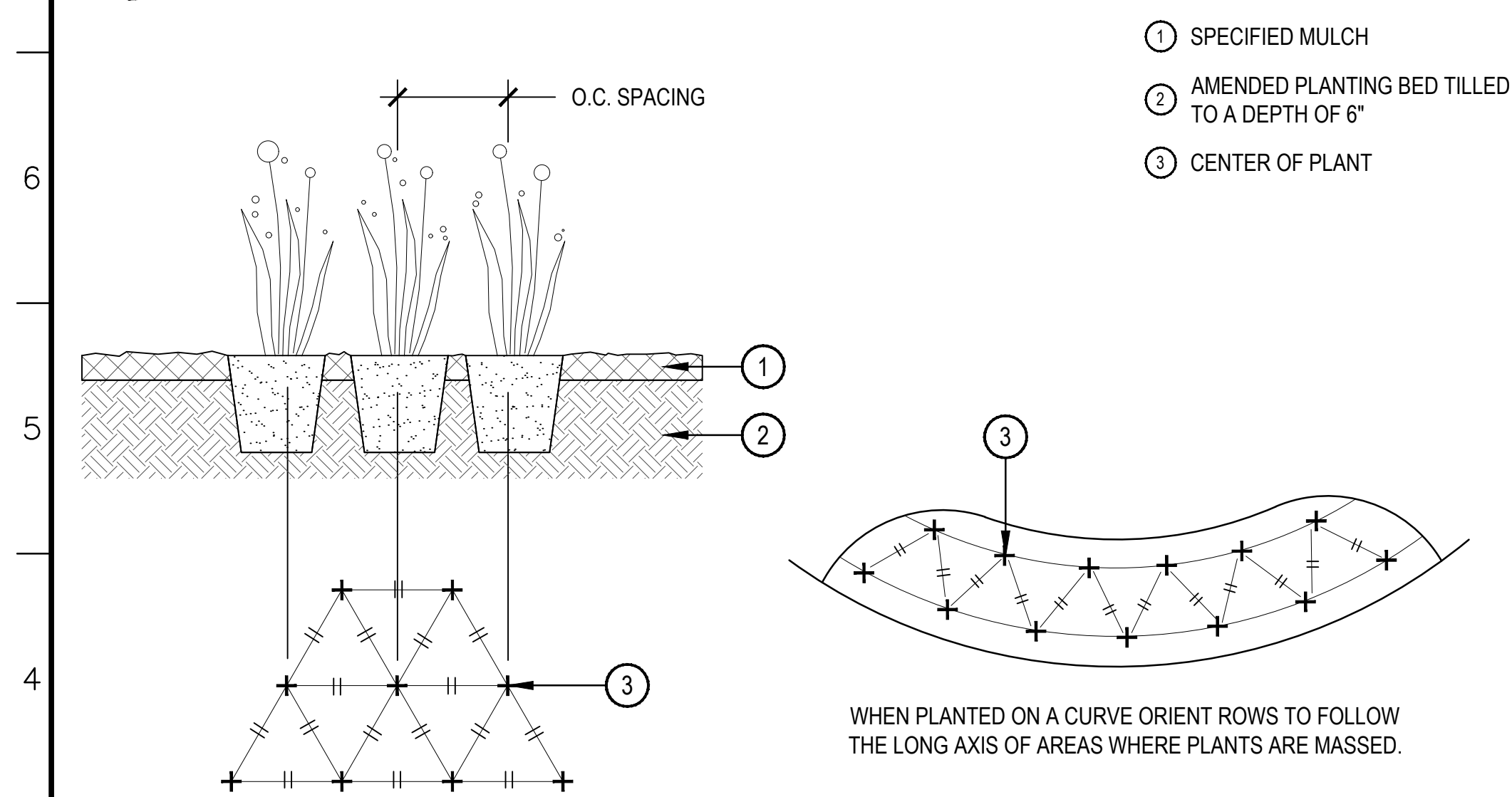
DRAWING NUMBER
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SHEET NUMBER
6 of 13



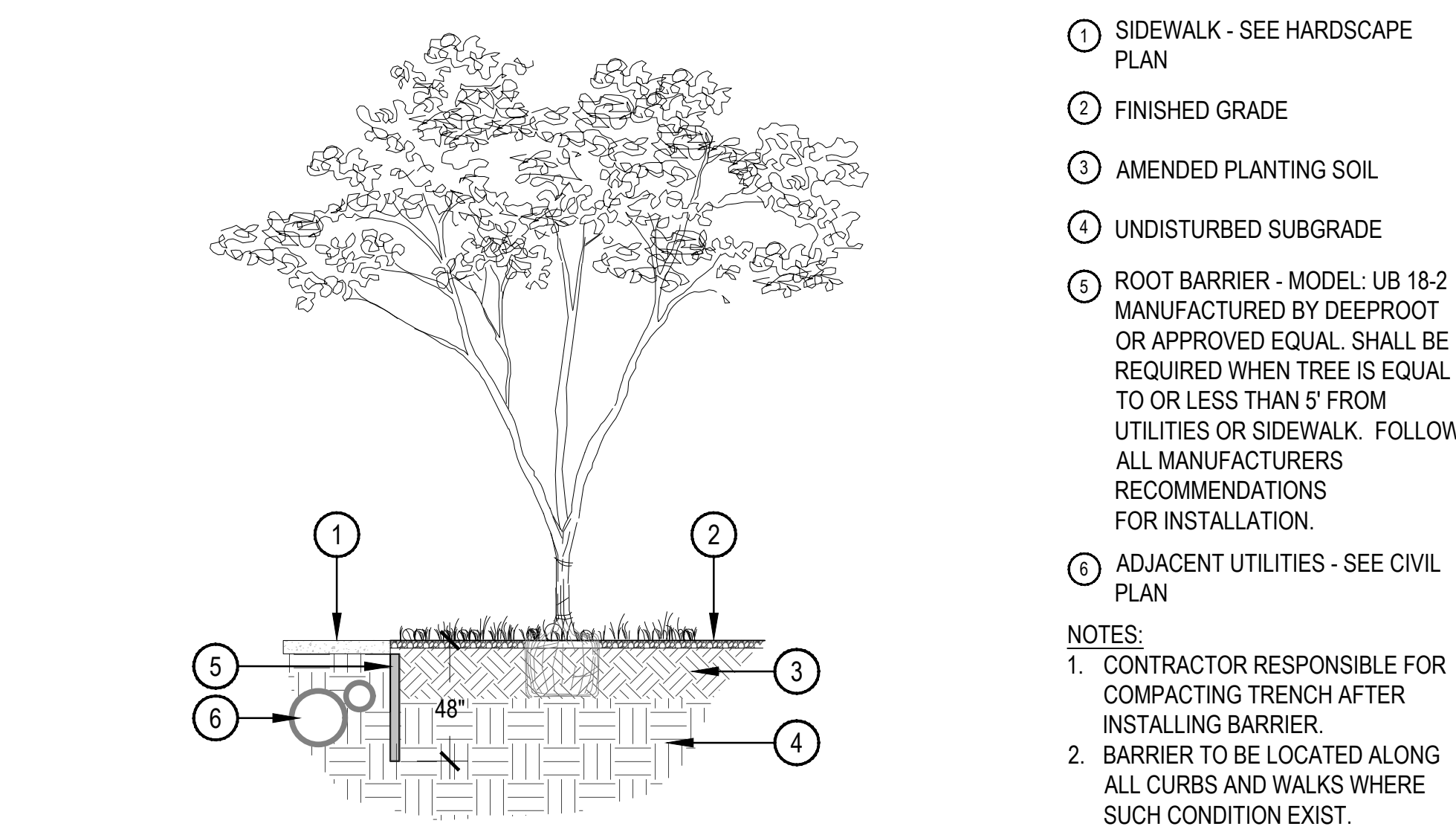
1 TREE PLANTING DETAIL

SCALE: 3/16" = 1'-0"



3 PERENNIAL PLANT LAYOUT

SCALE: 1" = 1'-0"

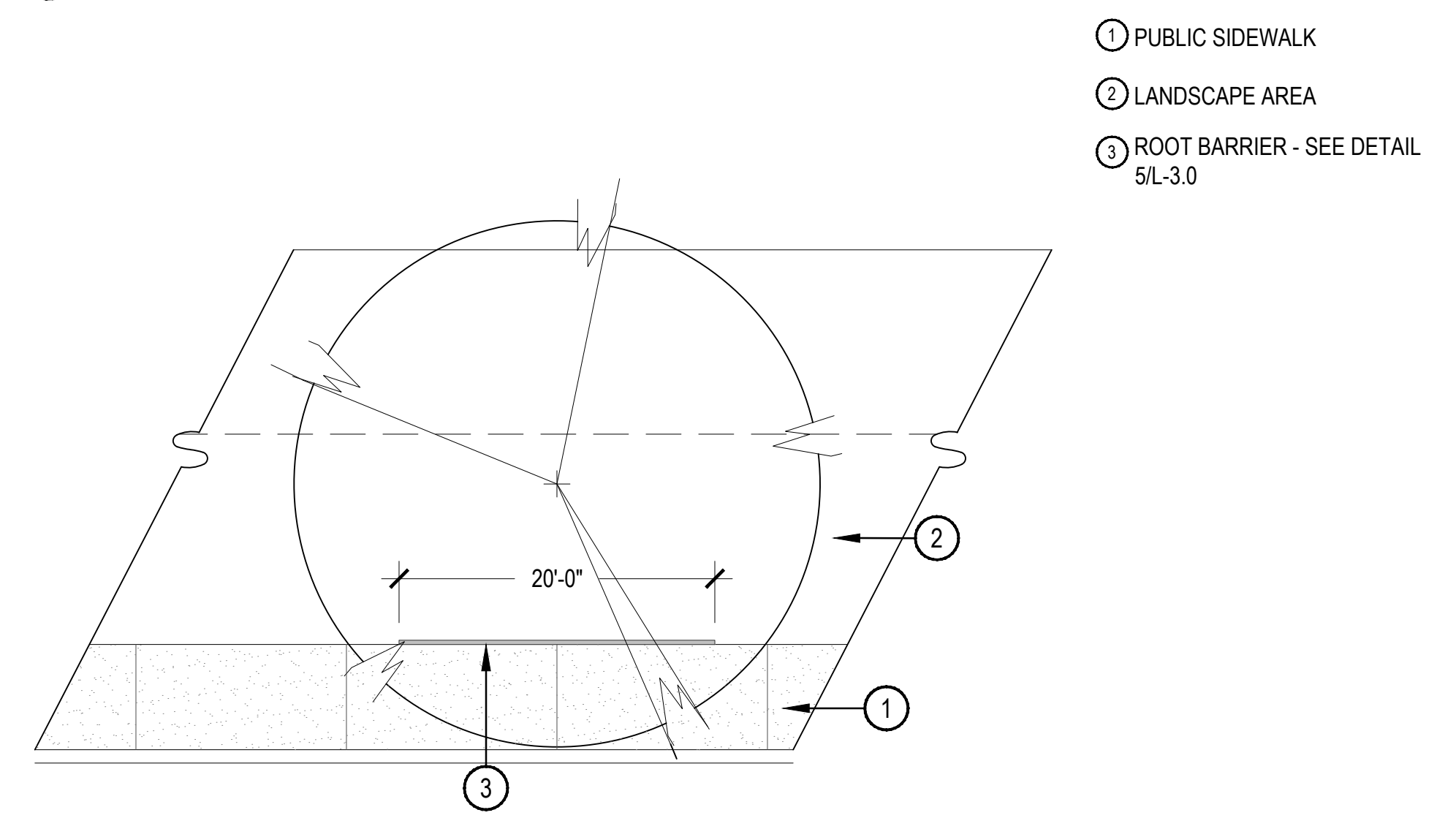


5 ROOT BARRIER

SCALE: NTS

2 SHRUB PLANTING

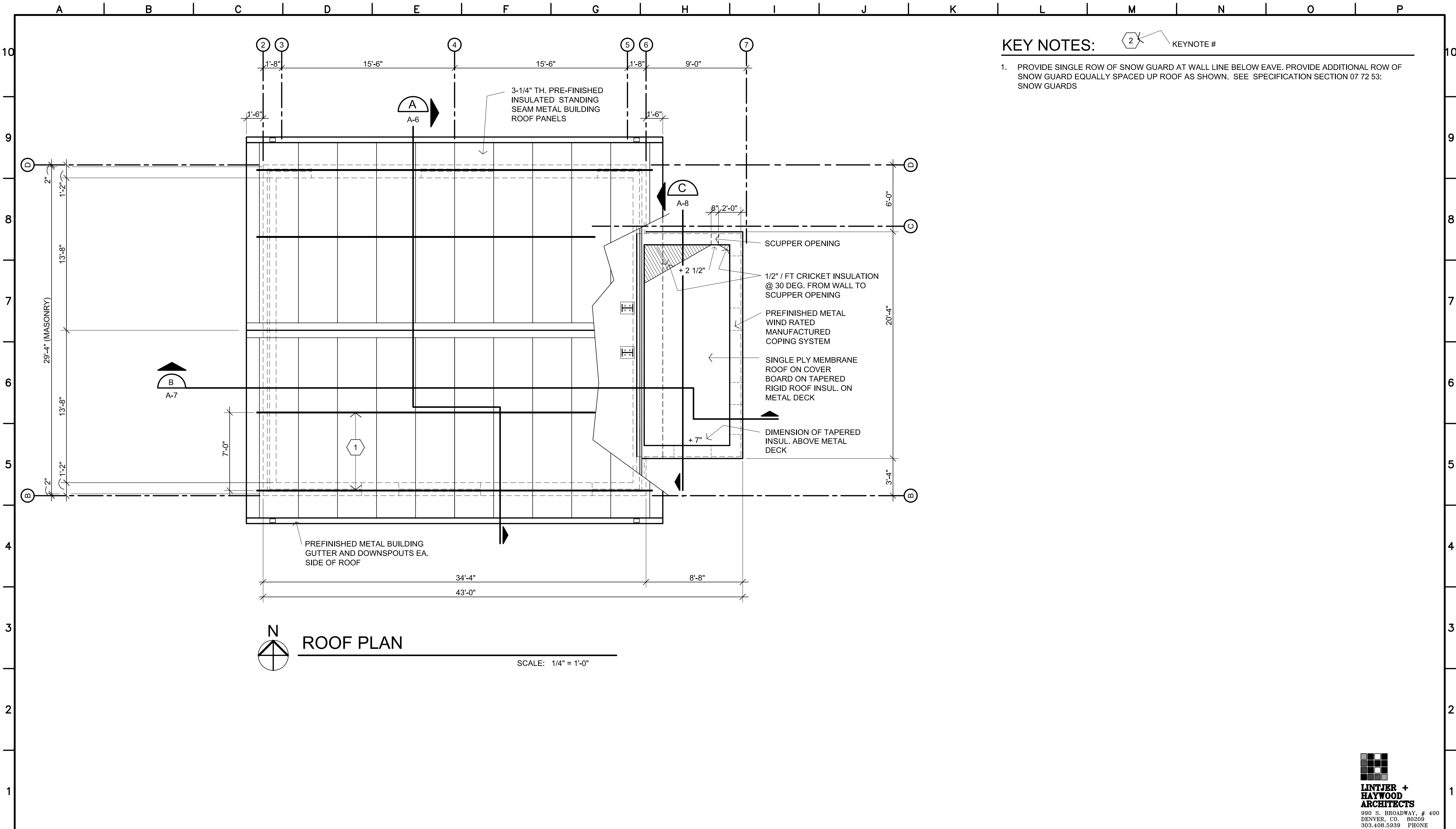
SCALE: 1-1/2" = 1'-0"



6 ROOT BARRIER - PLAN

SCALE: NTS

NOT FOR CONSTRUCTION



KEY NOTES:

1. PROVIDE SINGLE ROW OF SNOW GUARD AT WALL LINE BELOW EAVE. PROVIDE ADDITIONAL ROW OF SNOW GUARD EQUALLY SPACED UP ROOF AS SHOWN. SEE SPECIFICATION SECTION 07 72 53: SNOW GUARDS

2 KEYNOTE #

**Dewberry**[®]
Dewberry Engineers Inc.
990 S. BROADWAY, SUITE 400
Denver, Colorado 80209
(303) 825-1802

LINE IS 2 INCHES AT FULL SIZE (IF NOT 2"=SCALE ACCORDINGLY)	
DRAWING	A-3 DWG
DRAWN	BRL
DESIGNED	BRL
CHECKED	BRL

APPROVED:

PRINCIPAL

DATE:

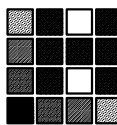
REVISIONS				
REV.	DESCRIPTION	BY	DATE	APP.
A	PUD RESUBMITTAL	BRL	1/25/22	BRL
B	PUD RESUBMITTAL	BRL	1/12/23	BRL

BRUE BAUKOL CAPITAL PARTNERS
LOUISVILLE, COLORADO

REDTAIL RIDGE LIFT STATION

ARCHITECTURAL

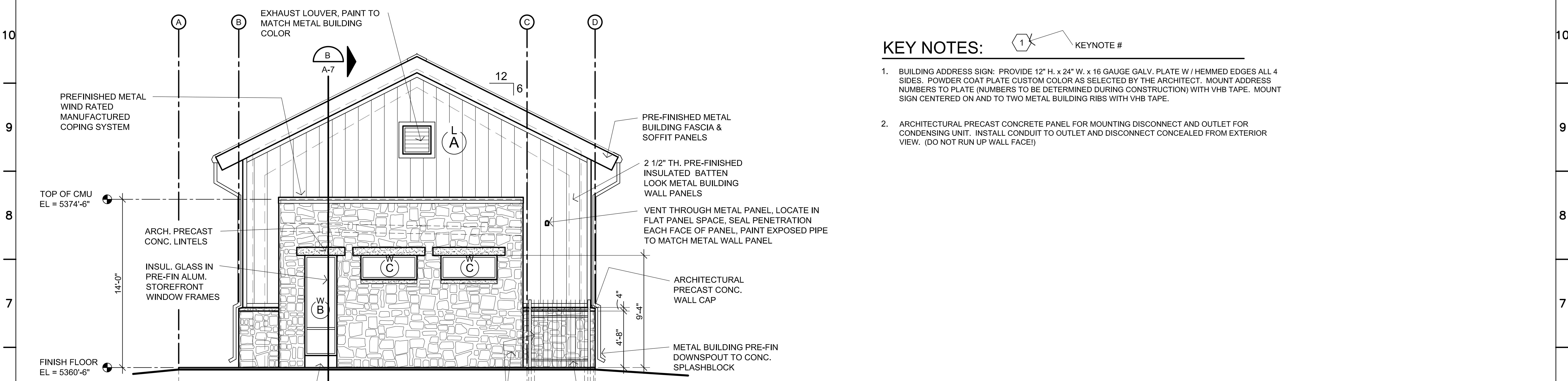
ROOF PLAN



**LINTJER +
HAYWOOD
ARCHITECTS**
990 S. BROADWAY, # 400
DENVER, CO. 80209
303.408.5939 PHONE

DATE:	09/24/21
PROJECT NUMBER:	50119483
REVISION NO.	A
DRAWING NUMBER	A-3
SHEET NUMBER	9 of 13

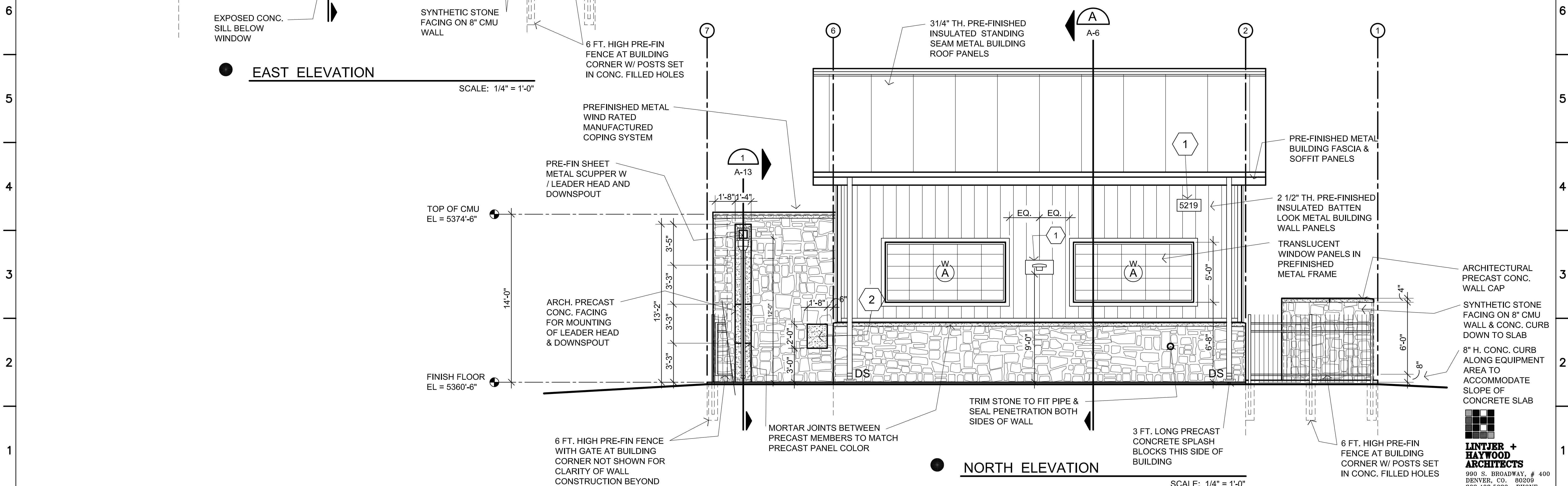
A B C D E F G H I J K L M N O P



KEY NOTES:

1 KEYNOTE #

- BUILDING ADDRESS SIGN: PROVIDE 12" H. x 24" W. x 16 GAUGE GALV. PLATE W / HEMMED EDGES ALL 4 SIDES. POWDER COAT PLATE CUSTOM COLOR AS SELECTED BY THE ARCHITECT. MOUNT ADDRESS NUMBERS TO PLATE (NUMBERS TO BE DETERMINED DURING CONSTRUCTION) WITH VHB TAPE. MOUNT SIGN CENTERED ON AND TO TWO METAL BUILDING RIBS WITH VHB TAPE.
- ARCHITECTURAL PRECAST CONCRETE PANEL FOR MOUNTING DISCONNECT AND OUTLET FOR CONDENSING UNIT. INSTALL CONDUIT TO OUTLET AND DISCONNECT CONCEALED FROM EXTERIOR VIEW. (DO NOT RUN UP WALL FACE!)



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Denver, Colorado 80209
(303) 825-1802

LINE IS 2 INCHES
AT FULL SIZE
(IF NOT 2"=SCALE ACCORDINGLY)

DRAWING A-4 DWG
DRAWN BRL
DESIGNED BRL
CHECKED BRL

APPROVED:

PRINCIPAL

DATE:

REVISIONS

REV.	DESCRIPTION	BY	DATE	APP.
A	BUILDING DEPARTMENT SUBMITTAL	BRL	09/24/21	BRL
B	PUD RESUBMITTAL	BRL	1/12/23	BRL

BRUE BAUKOL CAPITAL PARTNERS
LOUISVILLE, COLORADO

REDTAIL RIDGE LIFT STATION

ARCHITECTURAL

BUILDING ELEVATIONS

DATE: 09/24/21

PROJECT NUMBER: 50119483

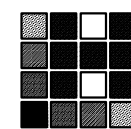
REVISION NO. A

DRAWING NUMBER

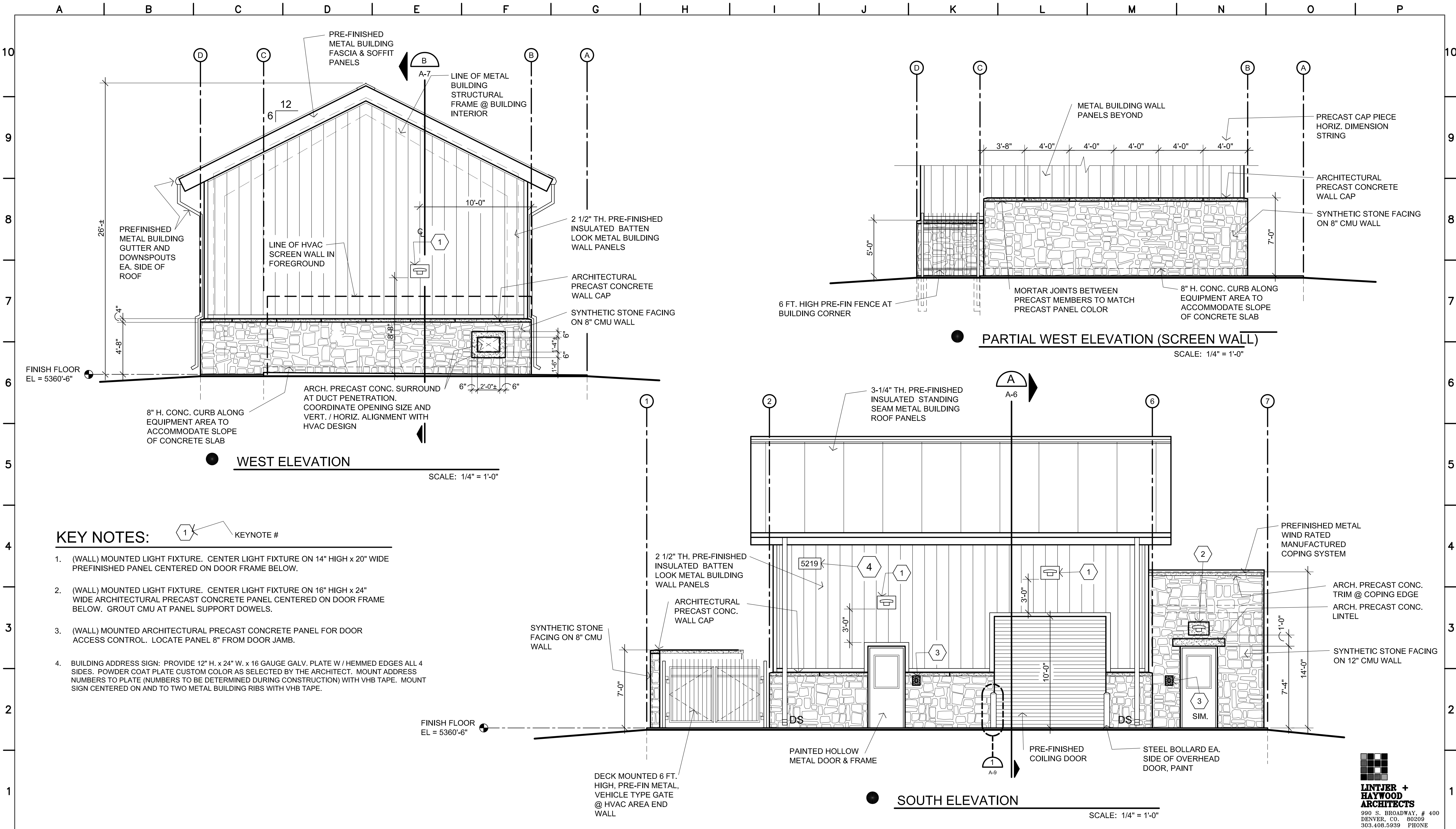
A-4

SHEET NUMBER

10 of 13



**LINTIER +
HAYWOOD
ARCHITECTS**
990 S. BROADWAY, # 400
DENVER, CO. 80209
303.408.5939 PHONE



KEY NOTES:

1. (WALL) MOUNTED LIGHT FIXTURE. CENTER LIGHT FIXTURE ON 14" HIGH x 20" WIDE PREFINISHED PANEL CENTERED ON DOOR FRAME BELOW.
2. (WALL) MOUNTED LIGHT FIXTURE. CENTER LIGHT FIXTURE ON 16" HIGH x 24" WIDE ARCHITECTURAL PRECAST CONCRETE PANEL CENTERED ON DOOR FRAME BELOW. GROUT CMU AT PANEL SUPPORT DOWELS.
3. (WALL) MOUNTED ARCHITECTURAL PRECAST CONCRETE PANEL FOR DOOR ACCESS CONTROL. LOCATE PANEL 8" FROM DOOR JAMB.
4. BUILDING ADDRESS SIGN: PROVIDE 12" H. x 24" W. x 16 GAUGE GALV. PLATE W / HEMMED EDGES ALL 4 SIDES. POWDER COAT PLATE CUSTOM COLOR AS SELECTED BY THE ARCHITECT. MOUNT ADDRESS NUMBERS TO PLATE (NUMBERS TO BE DETERMINED DURING CONSTRUCTION) WITH VHB TAPE. MOUNT SIGN CENTERED ON AND TO TWO METAL BUILDING RIBS WITH VHB TAPE.

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Denver, Colorado 80209
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LINE IS 2 INCHES
AT FULL SIZE
(IF NOT 2"=SCALE ACCORDINGLY)

DRAWING **A-5 DWG**
DRAWN **BRL**
DESIGNED **BRL**
CHECKED **BRL**

APPROVED:

PRINCIPAL

DATE:

REVISIONS				
REV.	DESCRIPTION	BY	DATE	APP.
A	BUILDING DEPARTMENT SUBMITTAL	BRL	09/24/21	BRL
B	PUD RESUBMITTAL	BRL	1/12/23	BRL

BRUE BAUKOL CAPITAL PARTNERS
LOUISVILLE, COLORADO

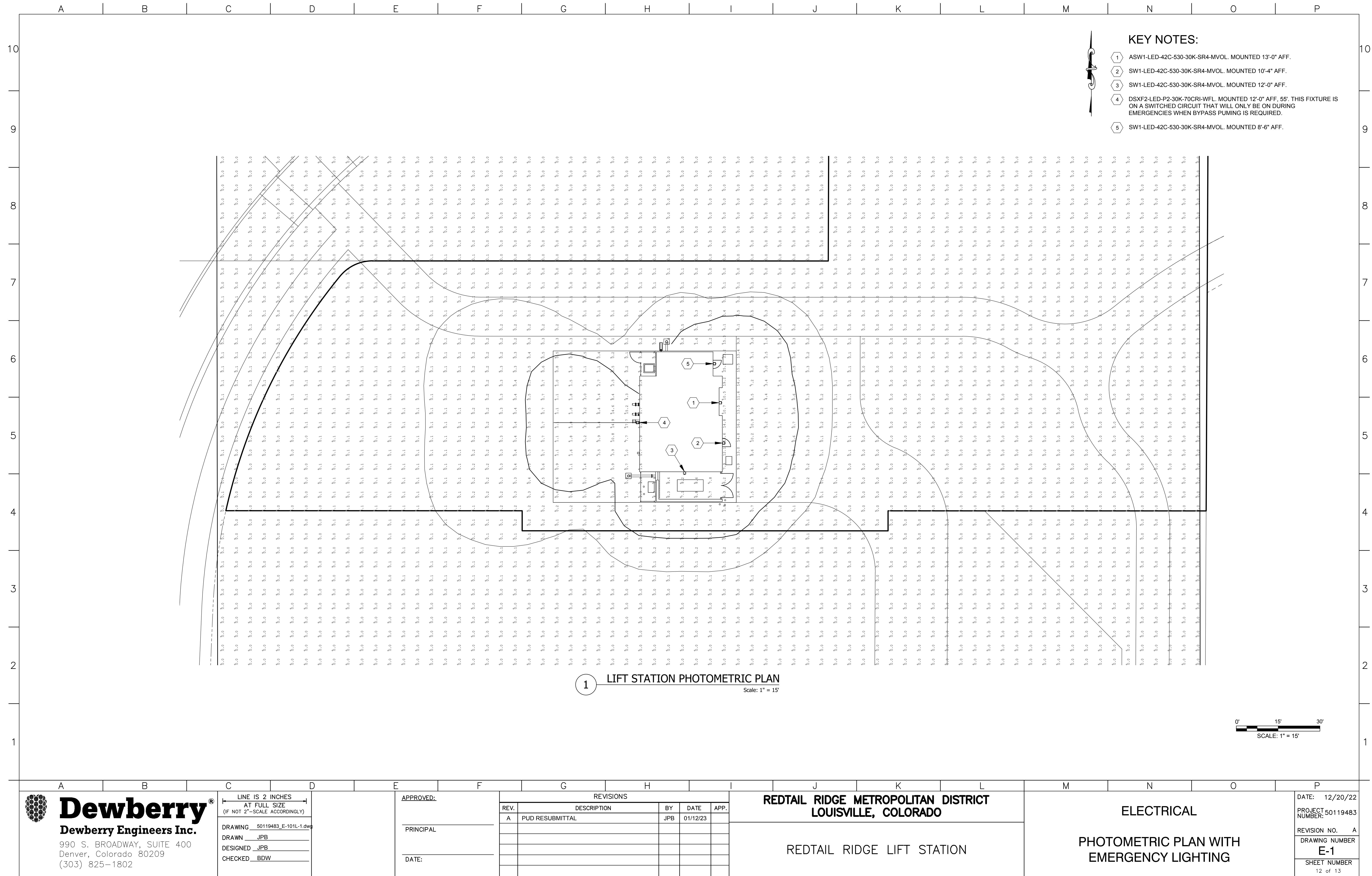
REDTAIL RIDGE LIFT STATION

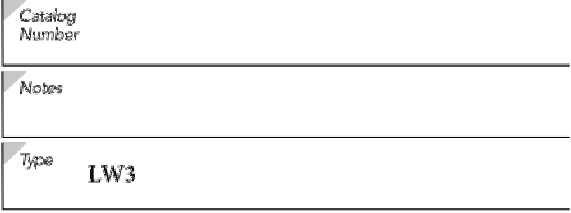
ARCHITECTURAL

BUILDING ELEVATIONS

DATE: 09/24/21
PROJECT NUMBER: 50119483
REVISION NO. A
DRAWING NUMBER **A-5**
SHEET NUMBER
11 of 13

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Technical drawing of the 1000 Series Transducer. The drawing includes a front view and a side view. The front view shows a rectangular device with a central circular feature and four mounting holes. Dimensions are labeled: W (width), H (height), and OH (overall height). The side view shows the profile of the device, including the mounting bracket, with dimension D (depth) indicated.

DSX72 LED									
Series	Performance package	Color temperature	Distribution	Voltage	Mounting	Options	Finish (optional)		
DSX72 LED	P1	30K 3000K	NSP Narrow spot	HWQ13 ¹	Shipped included THK Stuckle with 1/2" IPS threaded pins	Shipped installed PEX Phosphor coated, bottom style ^{1,2} PEE Phosphor coated external dimmed adjustable ^{1,2}	DSX2D Dark bronze DRLKO Black DNLKO Natural aluminum		
	P2	40K 4000K	MSP Medium flood	120°					
	P3 ³	50K 5000K	MSP Medium flood	268°					
				FL Flood	240°	YK62 Yoke with 16-350 cord	DNG 0-10V dimming (see pulled decal for use with an external control, ordered separately)		
				WF Wide flood	277°				
				WFR Wide flood, rectangular	347°				
				HMF Horizontal flood	480° ⁴	IS Ingress shielder (0.2-308" ID, 1/2" nominal)	5F Single face (306, 246, 480") DF Double face (306, 246, 480") SPD18KV Separate space protection	DWH0D White	
						Shipped separately			
						DSX12ZTS Tension slip/fitter (1-3/8" O.D. FRK required) FHS CG6 Tension slip/fitter (1-7/8" O.D. YK62 required) ¹			

1. Not available with PE (use PEX).
2. MYOLIT driver operates on line voltage from 120-277V.
3. Single fuse (SF) requires 120V, 277V or 347V. Double fuse (DF) requires 208V, 240V or 480V.
4. Not available with PE and PEX.
5. Also available as accessories; see accessories information at left.
6. Not available in performance package PS. Specify PEX for higher ambient temperatures.
7. Photocontrol (PE, PEX) requires 120, 208, 240, 277 or 347 voltage option.



Width: 15"
(38.1 cm)

Depth: 13-3/4"
(34.9 cm)

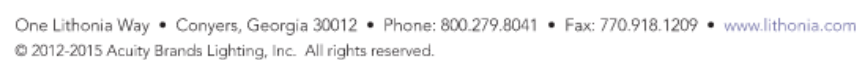
Height: 9-1/4"
(25.5 cm)

Weight (max): 34 lbs
(15.4 kg)

ASW LED						
Series	LEDs	Drive Current	Color temperature	Distribution	Voltage	Mounting
ASW1 LED	42C 42 LEDs (one engine)	350 350mA	30K 3000 K	SR2 type II	120V ¹ 277 ¹	Shipped included (blank) Surface mount
		530 530mA	40K 4000 K	SR3 type III	120 ¹ 347	
		700 700mA	50K 5000 K	SR4 type IV	240 ¹ 480	Shipped separately BBW Surface-mounted back box (for conduit entry) ²
					240 ¹	

Shipped installed		Shipped installed	
PE	Photoelectric cell, button type ¹	PMHTSD3	Part night, dim 5 hrs ¹
BL30	8i-level switched dimming, 30% ¹	PMHTB3	Part night, dim 6 hrs ¹
BL30	8i-level switched dimming, 50% ¹	PMHTD3	Part night, dim 10 hrs ¹
PMHTD3	Part night, dim 10 hrs ¹	DAG	0-10V dimming driver (no controls) ²
Shipped separately ¹		Shipped separately ¹	
VG	Vandal guard	DF	Single fuse (120, 227, 347V) ¹
WG	Wire guard	DFL	Double fuse (208, 240, 480V) ¹
		DFL	Offloading lens
		DWROD	White
		DWRD2D	Textured dark bronze
		DWRD3D	Textured blue
		DWRD4D	Textured natural aluminum
		DWRD5D	Textured white

- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Single fuse (SF) requires 120 or 277 voltage option. Double fuse (DF) requires 208 or 240 voltage option.
- 2 Also available as a separate accessory; see Accessories information at left.
- 3 Photocell (PE) requires 120, 208, 240, 277 or 347 voltage option. Must be ordered with fixture; cannot be field installed.
- 4 Requires an additional switched line.
- 5 Dimming driver standard. Not available with 347V or 480V.
- 6 Not available with 347V, 480V, BL30, BL50 or PNMt options.



*THE LW3 FIXTURE IS ON A SWITCHED CIRCUIT AND WILL ONLY BE ON WHEN THERE IS AN EMERGENCY AT THE LIFT STATION REQUIRING TEMPORARY BYPASS PUMPING OF THE LIFT STATION.

DATE: _____

REDTAIL RIDGE LIFT STATION

LIGHTING FIXTURE CUT-SHEETS AND FIXTURE SCHEDULE

E-3