

DESIGN CRITERIA

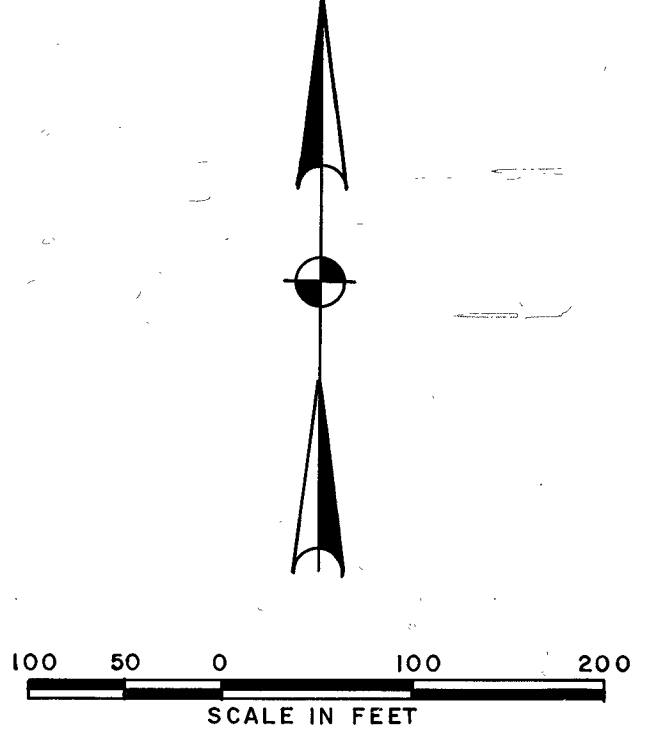
SIDE	BUILDING SETBACK		BUILDING HEIGHT
	REAR	FRONT	
5.0'	20.0'	20.0' *	35' MAX.

- * Corner lots one front setback only
Side yard on street side - 15' min.
except lot 1 side yard setback on Dillon Rd. shall be 5' min.
- * Front and rear setbacks shall be 15'
on lots 100' deep, 20' on all others.
except lots 37, 38, 39, 40, 96, 97, 111 and 118
shall have 10' rear setbacks.

LAND USE SUMMARY

LOTS 96-140
GROSS DENSITY - 4.0 UNITS/ACRE
TOTAL LOTS - 45
MEAN LOT SIZE - 9155 S.F.
MEDIAN LOT SIZE - 8350 S.F.
MINIMUM LOT SIZE - 6500 S.F.
MAXIMUM LOT SIZE - 21,500 S.F.

LOTS 1-95
GROSS DENSITY - 4.4 UNITS/ACRE
TOTAL LOTS - 95
MEAN LOT SIZE - 6792 S.F.
MEDIAN LOT SIZE - 6495 S.F.
MINIMUM LOT SIZE - 5225 S.F.
MAXIMUM LOT SIZE - 12,090 S.F.
OPEN SPACE - 35,425 S.F.



BOULDER COUNTY AGRICULTURAL ZONE

POINT OF BEGINNING

LEGAL DESCRIPTION

BEGINNING AT THE SOUTHEAST CORNER OF THE NORTH HALF OF THE NORTHEAST QUARTER OF SECTION 19, TOWNSHIP 1 SOUTH, RANGE 69 WEST, OF THE 6TH PRINCIPAL MERIDIAN, BOULDER COUNTY, COLORADO:
THENCE SOUTH 88°47'03" WEST, A DISTANCE OF 2206.75 FEET;
THENCE NORTH 74°12'47" WEST, A DISTANCE OF 299.70 FEET;
THENCE NORTH 65°12'47" WEST, A DISTANCE OF 98.80 FEET;
THENCE NORTH 07°12'47" WEST, A DISTANCE OF 80.80 FEET;
THENCE NORTH 52°47'13" EAST, A DISTANCE OF 407.20 FEET;
THENCE NORTH 58°47'13" EAST, A DISTANCE OF 548.60 FEET TO A NON-TANGENT POINT OF CURVATURE;
THENCE 142.70 FEET ALONG A CURVE TO THE LEFT HAVING A DELTA OF 65°24'29", A RADIUS OF 125.00 FEET, AND A LONG CHORD WHICH BEARS NORTH 62°42'15" EAST, A DISTANCE OF 135.08 FEET;
THENCE NORTH 60°17'13" EAST, A DISTANCE OF 420.30 FEET;
THENCE SOUTH 45°38'55" EAST, A DISTANCE OF 312.90 FEET TO A TANGENT POINT OF CURVATURE;
THENCE 450.60 FEET ALONG A CURVE TO THE LEFT, HAVING A DELTA OF 37°08'32", A RADIUS OF 695.00 FEET, AND A LONG CHORD WHICH BEARS SOUTH 64°11'21" EAST, A DISTANCE OF 442.75 FEET TO A POINT ON THE SOUTHERLY BOUNDARY OF THAT TRACT OF LAND DESCRIBED IN A DEED RECORDED ON FILM 991, RECEPTION NO. 259752;
THENCE ALONG SAID SOUTHERLY BOUNDARY THE FOLLOWING FOUR COURSES:
THENCE SOUTH 55°35'36" EAST, A DISTANCE OF 29.82 FEET;
THENCE SOUTH 59°40'03" EAST, A DISTANCE OF 100.98 FEET;
THENCE NORTH 63°04'43" EAST, A DISTANCE OF 91.60 FEET;
THENCE NORTH 48°20'08" EAST, A DISTANCE OF 82.71 FEET;
THENCE SOUTH 14°23'10" EAST, A DISTANCE OF 72.46 FEET TO A POINT ON THE WESTERLY BOUNDARY OF THAT TRACT OF LAND DESCRIBED IN A DEED RECORDED IN BOOK 911 ON PAGE 212;
THENCE ALONG SAID WESTERLY BOUNDARY THE FOLLOWING TEN COURSES:
THENCE SOUTH 40°12'20" WEST, A DISTANCE OF 65.68 FEET;
THENCE SOUTH 10°57'20" WEST, A DISTANCE OF 15.00 FEET;
THENCE SOUTH 14°32'40" EAST, A DISTANCE OF 14.50 FEET;
THENCE SOUTH 33°32'40" EAST, A DISTANCE OF 10.00 FEET;
THENCE SOUTH 38°12'40" EAST, A DISTANCE OF 229.50 FEET;
THENCE SOUTH 58°52'40" EAST, A DISTANCE OF 52.00 FEET;
THENCE SOUTH 62°24'40" EAST, A DISTANCE OF 235.00 FEET;
THENCE SOUTH 60°52'40" EAST, A DISTANCE OF 18.00 FEET;
THENCE SOUTH 53°42'40" EAST, A DISTANCE OF 34.50 FEET;
THENCE SOUTH 44°49'40" EAST, A DISTANCE OF 19.50 FEET TO THE EAST LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 19;
THENCE SOUTH 00°07'20" WEST, A DISTANCE OF 29.50 FEET TO THE POINT OF BEGINNING, CONTAINING 32.79 ACRES, MORE OR LESS.

Coal Creek Ranch

FINAL PLANNED UNIT DEVELOPEMENT

FILING NO. 3

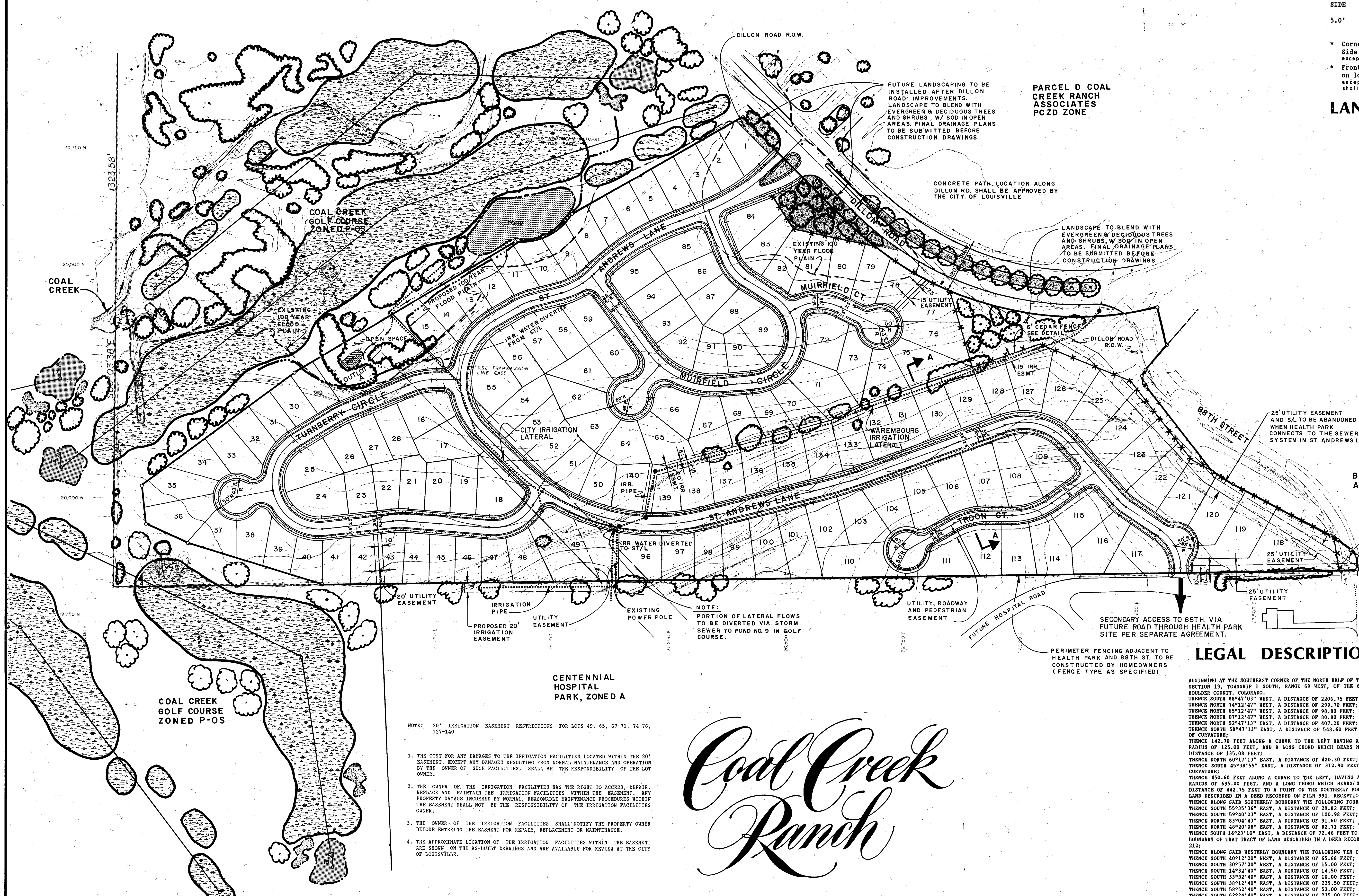
- NOTE: 20' IRRIGATION EASEMENT RESTRICTIONS FOR LOTS 49, 65, 67-71, 74-76, 127-140
1. THE COST FOR ANY DAMAGES TO THE IRRIGATION FACILITIES LOCATED WITHIN THE 20' EASEMENT, EXCEPT ANY DAMAGES RESULTING FROM NORMAL MAINTENANCE AND OPERATION BY THE OWNER OF SUCH FACILITIES, SHALL BE THE RESPONSIBILITY OF THE LOT OWNER.
 2. THE OWNER OF THE IRRIGATION FACILITIES HAS THE RIGHT TO ACCESS, REPAIR, REPLACE AND MAINTAIN THE IRRIGATION FACILITIES WITHIN THE EASEMENT. ANY PROPERTY DAMAGE INCURRED BY NORMAL, REASONABLE MAINTENANCE PROCEDURES WITHIN THE EASEMENT SHALL NOT BE THE RESPONSIBILITY OF THE IRRIGATION FACILITIES OWNER.
 3. THE OWNER OF THE IRRIGATION FACILITIES SHALL NOTIFY THE PROPERTY OWNER BEFORE ENTERING THE EASEMENT FOR REPAIR, REPLACEMENT OR MAINTENANCE.
 4. THE APPROXIMATE LOCATION OF THE IRRIGATION FACILITIES WITHIN THE EASEMENT ARE SHOWN ON THE AS-BUILT DRAWINGS AND ARE AVAILABLE FOR REVIEW AT THE CITY OF LOUISVILLE.

CLERK AND RECORDER CERTIFICATE
COUNTY OF BOULDER
STATE OF COLORADO
I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT 2:05 O'CLOCK, P.M., THIS 13th DAY OF FEBRUARY, 1990, AND IS DULY RECORDED IN MY FILE 207-140-507, PAGE 1, PAID \$10.00, FILM NO. 1027, RECEPTION NO. 1234027.
Charlotte Harrison
RECORDER
Brenda Taylor
DEPUTY

CITY COUNCIL CERTIFICATE
APPROVED THIS 6th DAY OF FEBRUARY, 1990, BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. 4496
Herman Johnson
MAYOR
Hannah Jones
CITY CLERK

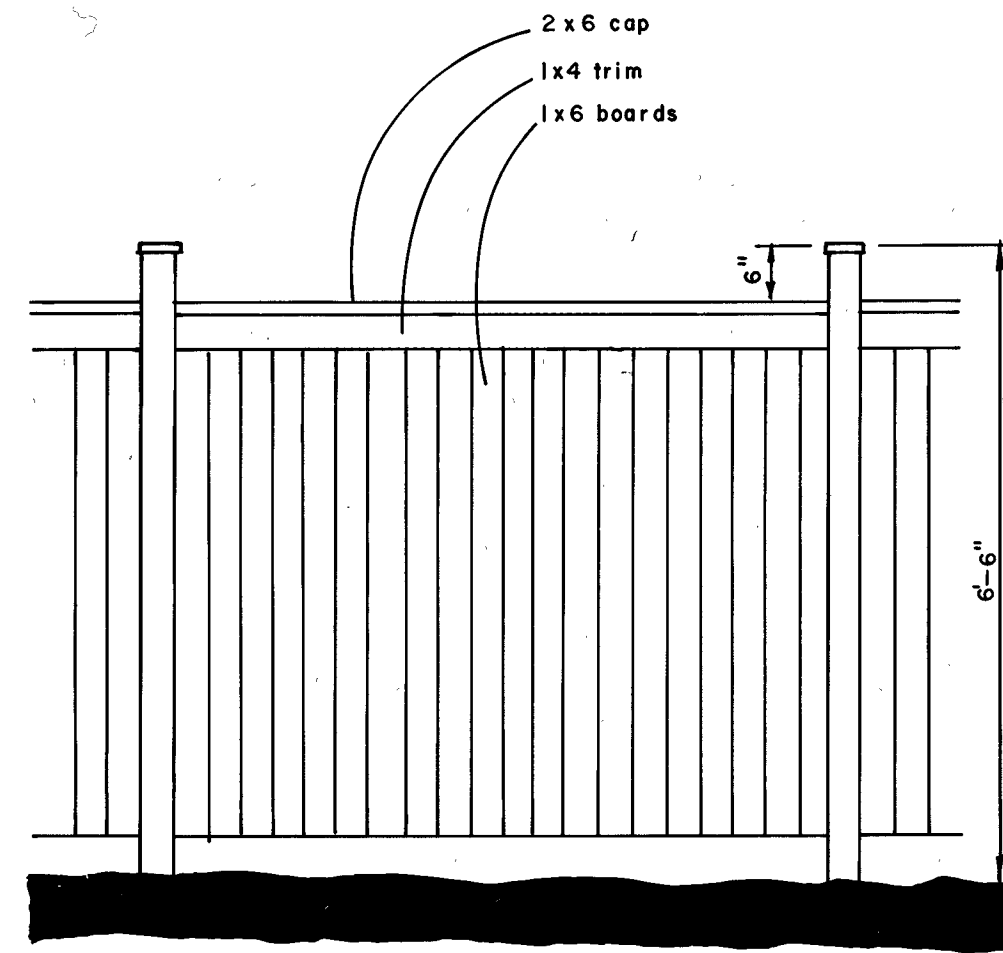
NOTE:
UTILITY EASEMENTS FOR ELECTRIC, GAS, PHONE AND CABLE TV SHALL BE 8' ALONG FRONT OF ALL LOTS.

HURST & ASSOCIATES, INC.
CONSULTING ENGINEERS
955 4th Street
Boulder, Colorado 80501-4051
JOB NO. 2020-4 DATE 9/89 SHEET 1 OF 2

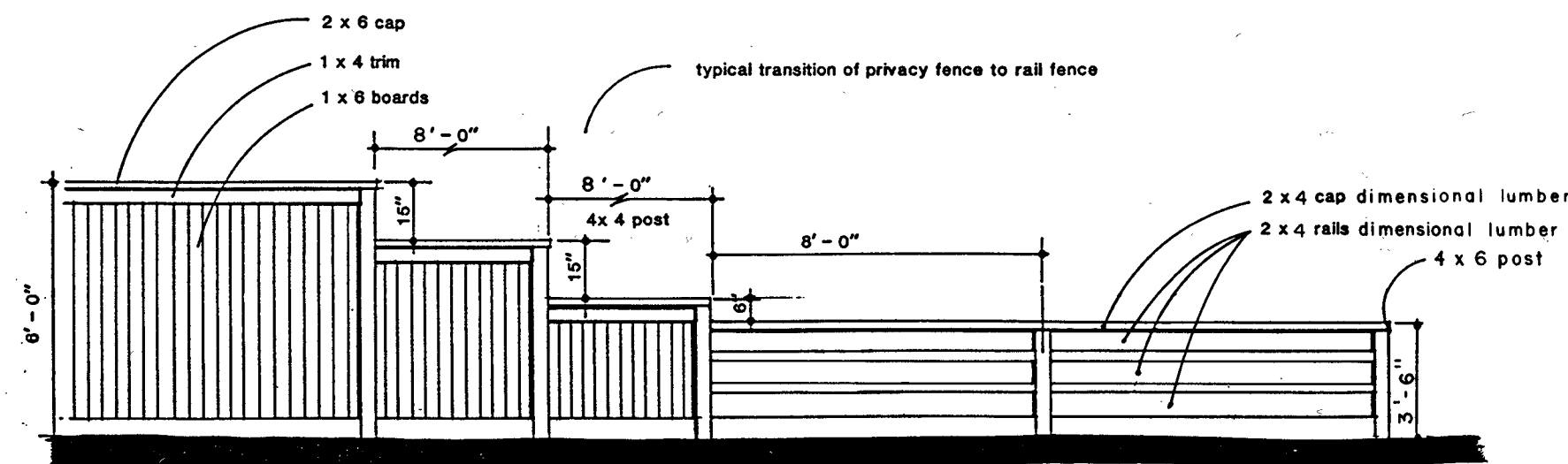


DRAWING NUMBER
PLAN HOLD CORPORATION • IRVINE, CALIFORNIA
RECORDED BY NUMBER OTHER
BOULDER COUNTY, COLORADO
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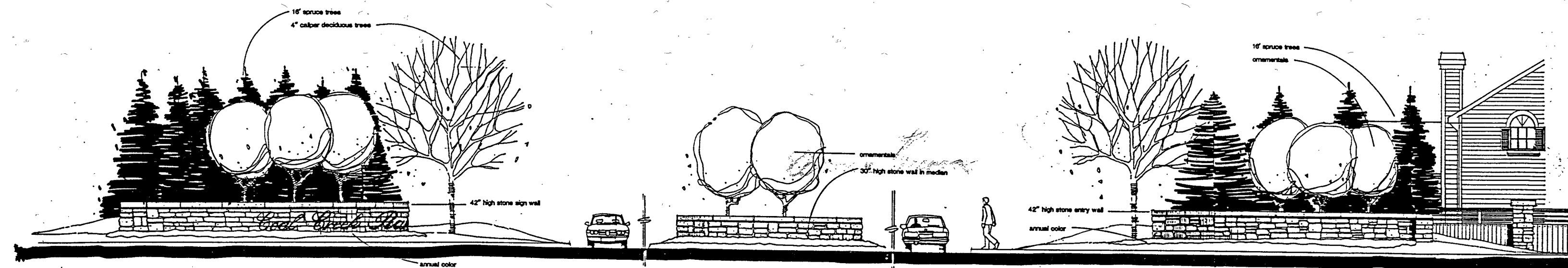
PLANNING COMMISSION CERTIFICATE
APPROVED THIS 19th DAY OF NOVEMBER, 1989, BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO. RESOLUTION NO. 13
1989
Mary Ann Paddock
SECRETARY



PERIMETER FENCE perimeter fencing to be installed by builder according to development phasing. Perimeter fence to be used where single family detached lots occur adjacent to Dillon Road.

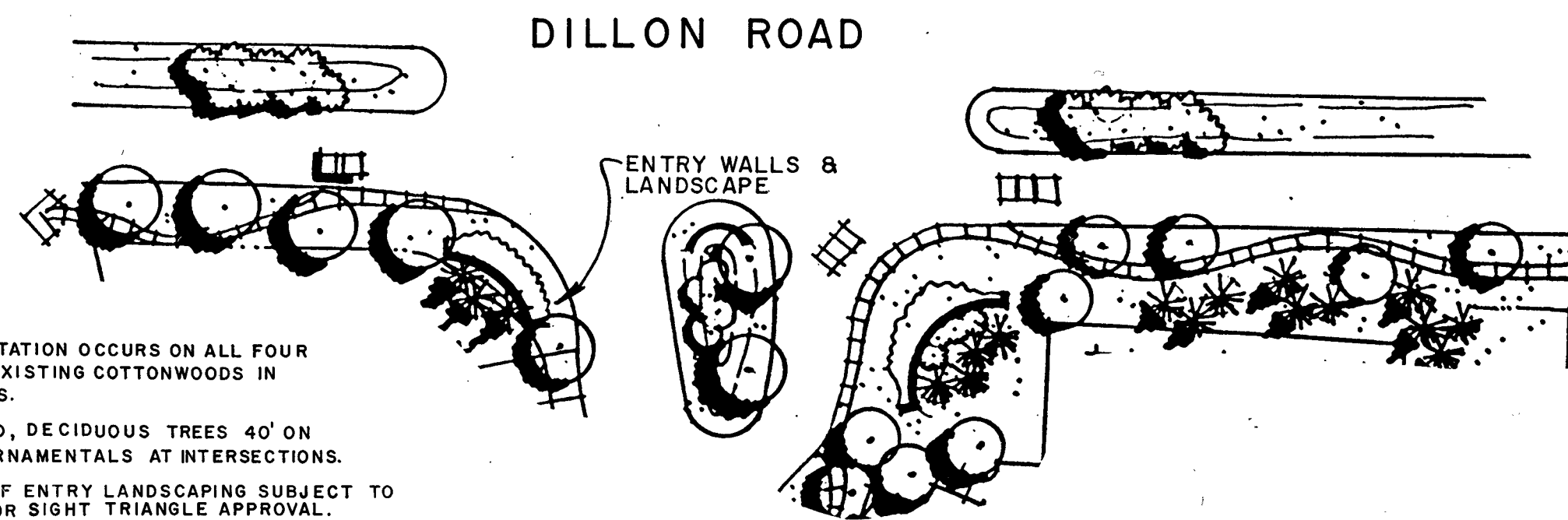


INTERIOR & RAIL FENCE Interior fencing by homeowner. Interior fence to occur on s.f. side and rear yards not adjacent golf course. Rail fence to occur adjacent golf course including outlot A.



DILLON ROAD ENTRY

DILLON RD. ENTRY, ENTRY DETAIL, ENTRY WALL DETAIL AND TYPICAL STREET SECTIONS ARE SUBJECT TO FUTURE REVIEW AT TIME ENGINEERING PLANS ARE SUBMITTED FOR REVIEW/ACCEPTANCE

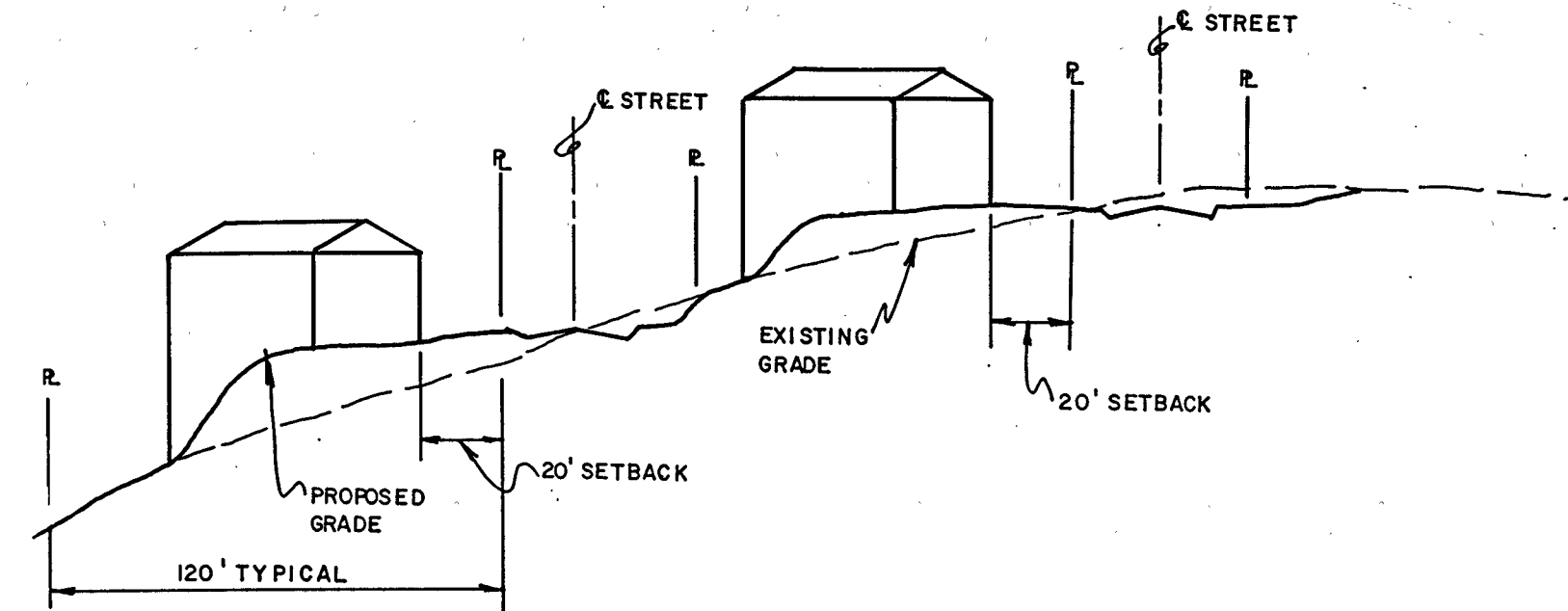


NOTE:

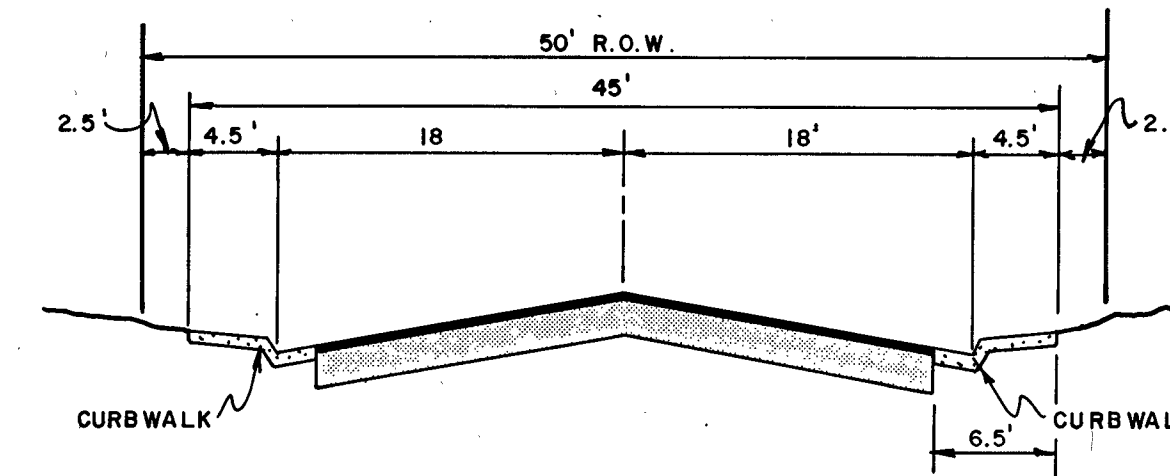
- 1.) ENTRY MONUMENTATION OCCURS ON ALL FOUR CORNERS WITH EXISTING COTTONWOODS IN CENTER ISLANDS.
- 2.) LOW TURF MOUND, DECIDUOUS TREES 40' ON CENTER AND ORNAMENTALS AT INTERSECTIONS.
- 3.) FINAL DETAILS OF ENTRY LANDSCAPING SUBJECT TO CITY REVIEW FOR SIGHT TRIANGLE APPROVAL.
- 4.) REAR YARD FENCING ALONG LOTS 103 THROUGH 109, SHALL BE NO HIGHER THAN 42" ALONG ST. ANDREWS LN.
- 5.) ABOVE ITEMS SUBJECT TO REVIEW AT TIME ENGINEERING PLANS ARE SUBMITTED FOR REVIEW/ACCEPTANCE

FENCE HEIGHT VARIANCES P

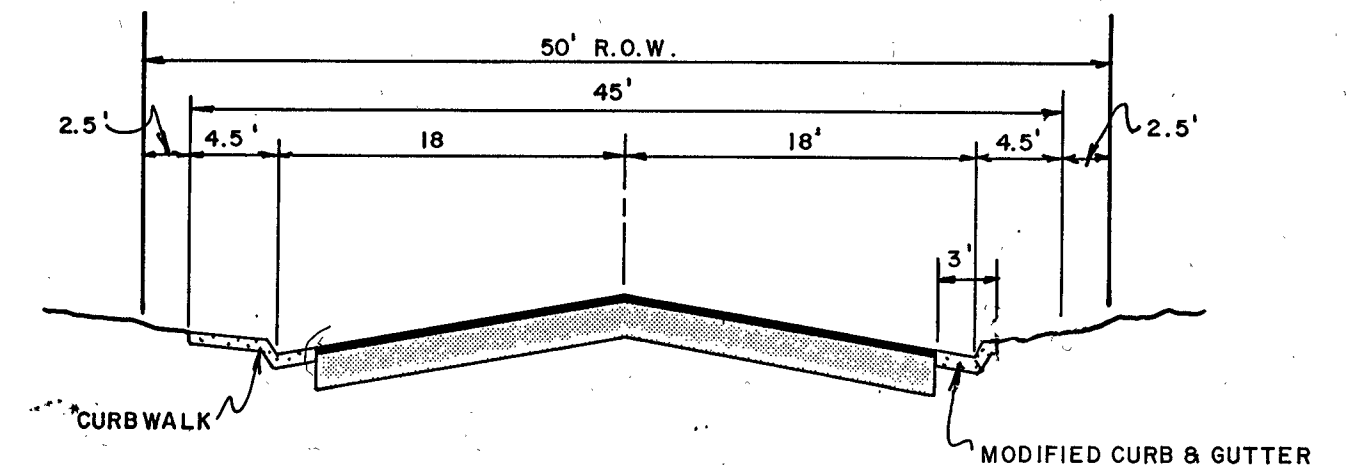
ENTRY DETAIL



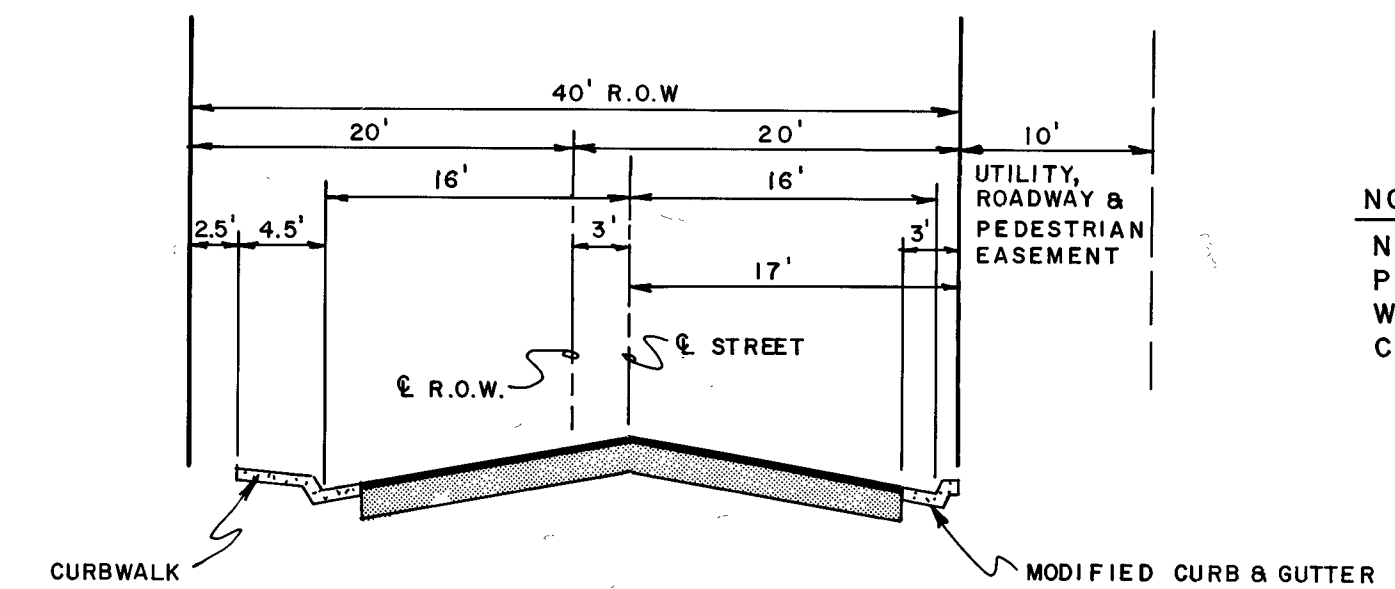
SECTION A-A TYPICAL GRADING PLAN



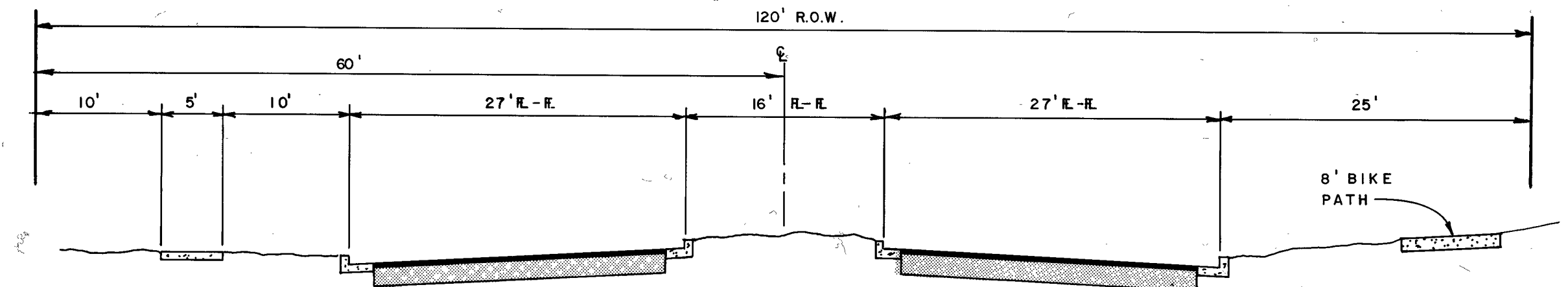
SAINT ANDREWS LANE MUIRFIELD COURT (FOR ILLUSTRATIVE PURPOSE ONLY)



MUIRFIELD CIRCLE TURNBERRY CIRCLE

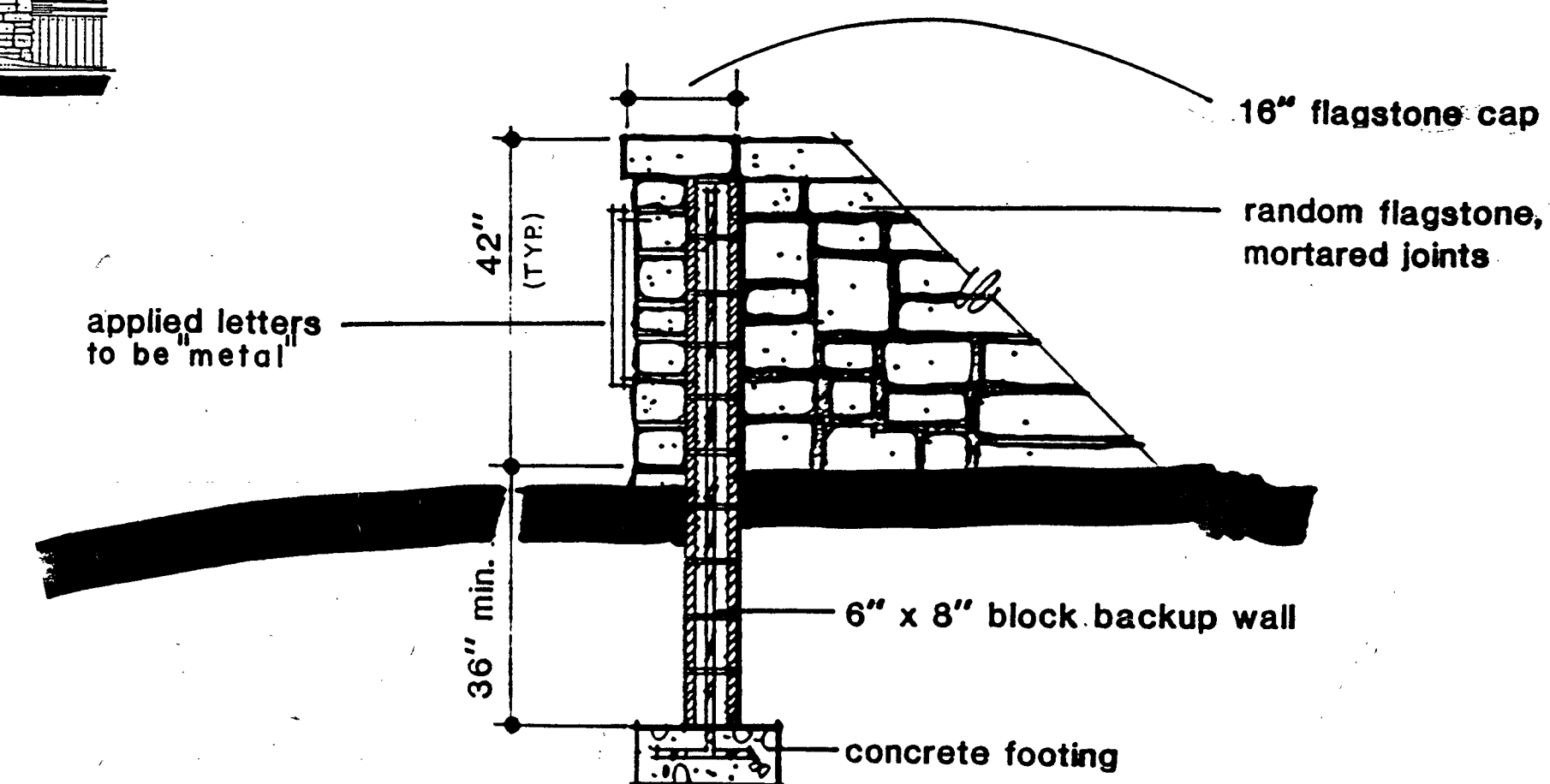


NOTE:
NO VALVE BOX, UTILITY
PEDESTAL SHALL BE
WITHIN 6' BACK OF
CURB.



FUTURE DILLON ROAD (FOR ILLUSTRATIVE PURPOSE ONLY)

TYPICAL STREET SECTIONS



ENTRY WALL DETAIL

Coal Creek Ranch
PRELIMINARY PLANNED UNIT DEVELOPMENT

**FILING NO. 3
DETAIL SHEET**

SCALE NO SCALE
DESIGN J.W.J.
DRAWN R.J.L.
CHECKED J.W.J.
APPROVED J.W.J.

HURST & ASSOCIATES, INC.
CONSULTING ENGINEERS
895 4th Street, N.E.
Boulder, Colorado 80501 (303) 447-0000
JOB NO. 2020-4 DATE 9/89 SHEET 2 OF 2