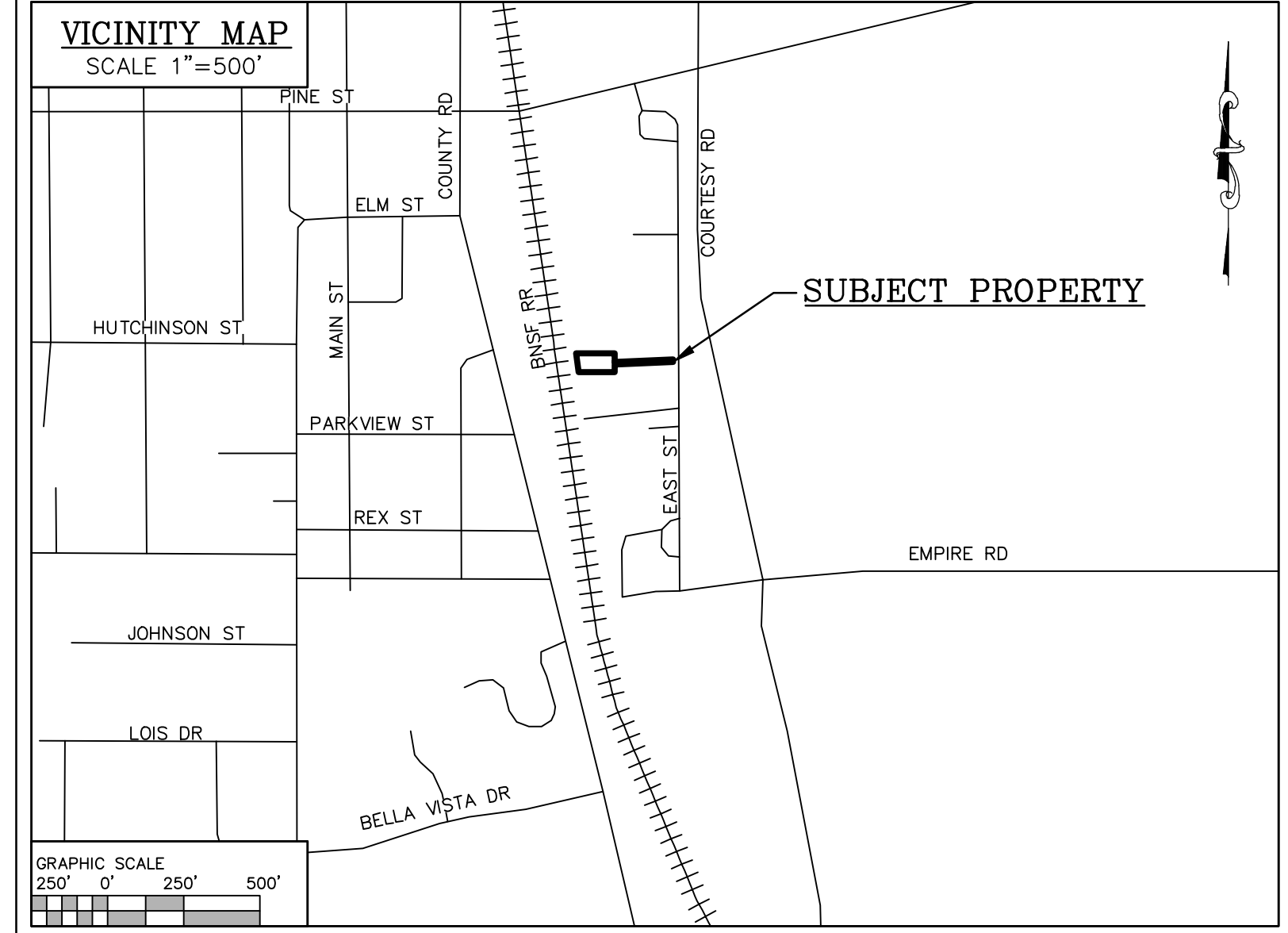


IMPROVEMENT SURVEY PLAT

A PARCEL OF LAND SITUATED IN THE SOUTHEAST 1/4 OF
SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH P.M.,
CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO



LEGAL DESCRIPTION

LOT 2, LOMBARDI SUBDIVISION, EXCLUDING THE EASTERLY 5 FEET FOR RIGHT OF WAY PER DEED 2072242, CITY OF LOUISVILLE, COUNTY OF BOULDER, STATE OF COLORADO.

NOTES

- FALCON SURVEYING, INC. RECOMMENDS THE PROPERTY OWNER OBTAIN A TITLE COMMITMENT TO MORE THOROUGHLY RESEARCH EASEMENTS.
- TOTAL AREA OF PARCEL IS 11,790 SQUARE FEET, OR 0.271 ACRES MORE OR LESS.
- ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACES ANY PUBLIC LAND SURVEY MONUMENT OR LAND MONUMENT OR ACCESSORY, COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
- NOTICE: ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT, MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF CERTIFICATION SHOWN HEREON. (C.R.S. 13-80-105(3)(A))
- FALCON SURVEYING, INC. RECOMMENDS ALL INTERESTED PARTIES RETAIN THE SERVICES OF A COMPETENT INDIVIDUAL TO CONSULT PERTINENT DOCUMENTS FOR SPECIFIC DEVELOPMENT RESTRICTIONS AND CRITERIA WHICH MIGHT APPLY TO SUBJECT PARCEL. FALCON SURVEYING, INC. AND THE SURVEYOR OF RECORD ASSUME NO RESPONSIBILITY FOR THE ZONING RESTRICTIONS UPON THE SUBJECT PROPERTY.
- DIRECT ACCESS TO PROPERTY FROM EAST STREET (PUBLIC RIGHT OF WAY) EXISTS AT TIME OF SURVEY. RIGHTS TO ACCESS NOT ADDRESSED BY SURVEYOR.
- BURIED UTILITIES AND/OR PIPE LINES ARE SHOWN PER VISIBLE SURFACE EVIDENCE AND UTILITY PLANS. ADDITIONAL UTILITIES, IN USE OR ABANDONED, MIGHT EXIST ON, NEAR OR CROSSING THE SUBJECT PROPERTY. LACKING EXCAVATION, THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. WHERE ADDITIONAL OR MORE DETAILED INFORMATION IS REQUIRED, THE CLIENT IS ADVISED THAT EXCAVATION MAY BE NECESSARY. WITHOUT EXPRESSING A LEGAL OPINION AS TO THE OWNERSHIP OR NATURE OF THE POTENTIAL OVERHANGS, THE DIMENSIONS OF ALL UTILITY POLE CROSSMEMBERS AND/OR OVERHANGS SHOWN HEREON ARE LOCATED TO THE BEST OF OUR ABILITY AND ARE APPROXIMATE. FALCON SURVEYING, INC. AND THE SURVEYOR OF RECORD SHALL NOT BE LIABLE FOR THE LOCATION OF OR THE FAILURE TO NOTE THE LOCATION OF NON-VISIBLE UTILITIES.
- ALL DISTANCES ARE IN U.S. SURVEY FEET.
- BASIS OF BEARINGS: THE GPS DERIVED EAST LINE OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 1 SOUTH, RANGE 69 WEST OF THE 6TH PRINCIPAL MERIDIAN AS EVIDENCED BY A FOUND 2.5" ALUMINUM CAP "PLS 26300" BEING THE SOUTHEAST 1/4 CORNER OF SAID SECTION 8 FROM WHENCE A FOUND 2" ALUMINUM CAP "PLS 4846" BEING THE EAST 1/4 CORNER OF THE SOUTHEAST 1/4 OF SAID SECTION 8 BEARS NORTH 00°11'36" EAST, A DISTANCE OF 1325.10 FEET WITH ALL BEARINGS HEREIN RELATIVE THERETO.

SURVEYOR'S CERTIFICATE

I, JEFFREY J. MACKENNA, A REGISTERED LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY SHOWN HEREON WAS MADE UNDER MY DIRECT SUPERVISION AND THAT IT IS BASED ON MY KNOWLEDGE, INFORMATION AND BELIEF. THIS SURVEY IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE BUT IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

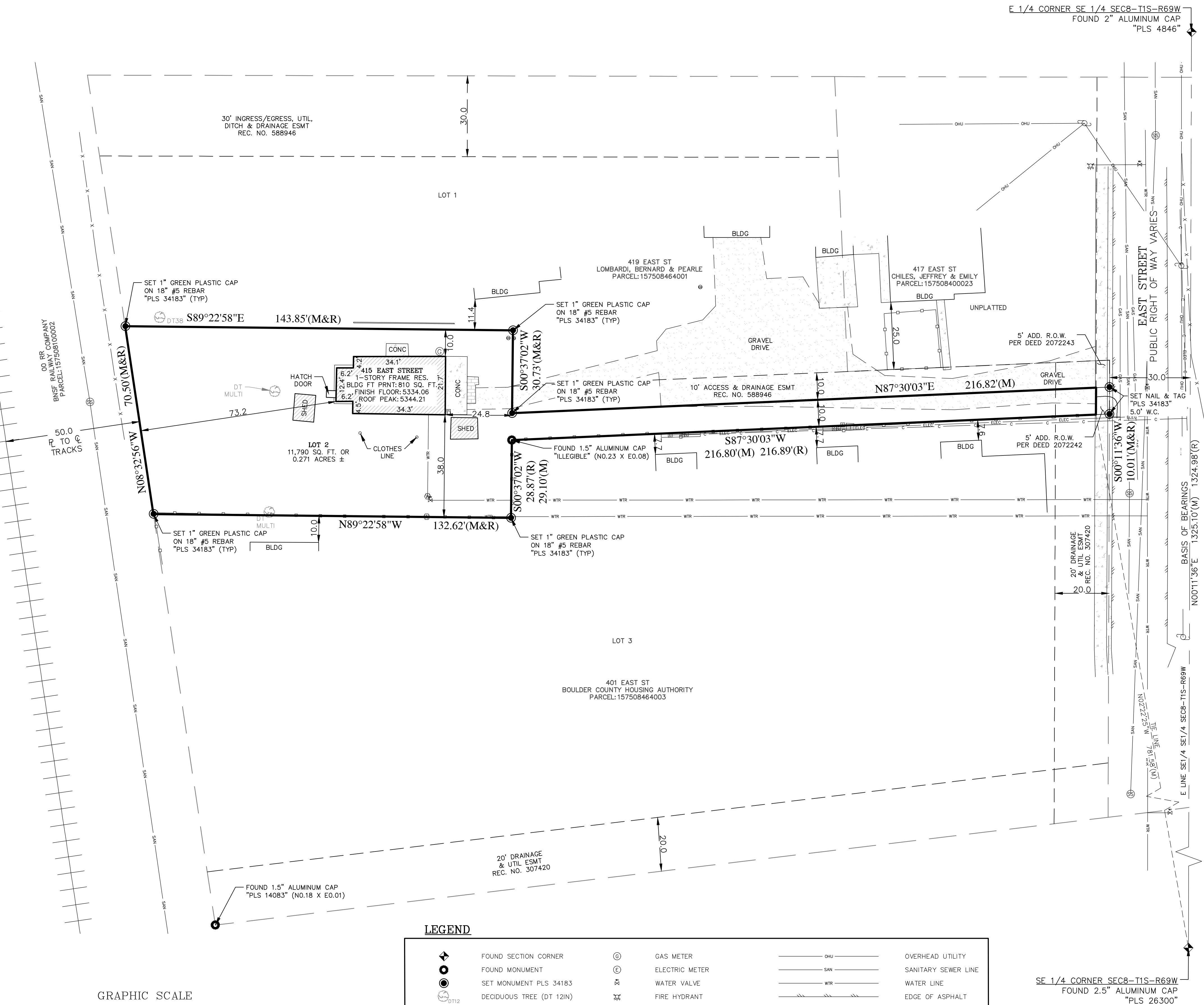
JEFFREY J. MACKENNA
PLS 34183

DATE: 06/04/21



9940 WEST 25TH AVENUE
LAKEWOOD, CO 80215
303-202-1560
WWW.FALCONSURVEYING.COM

DATE: 06/04/21
REVA:
DRAWN BY: CAC
CHK'D BY: JJM
JOB NO. 210513
DATE OF FIELD SURVEY: 05/14/2021
210513_JSP.DWG



LEGEND

	FOUND SECTION CORNER		GAS METER		OVERHEAD UTILITY
	FOUND MONUMENT		ELECTRIC METER		SANITARY SEWER LINE
	SET MONUMENT PLS 34183		WATER VALVE		WATER LINE
	DECIDUOUS TREE (DT 12IN)		FIRE HYDRANT		EDGE OF ASPHALT
	UTILITY POLE		WATER METER		IRON FENCE
	CLEANOUT		COMMUNICATION PEDESTAL		WOOD FENCE
	SANITARY SEWER MANHOLE		ELECTRIC PEDESTAL		ELEC LINE
	RECORDED		TRANSFORMER		GAS
	MEASURED				COMM
					SIDEWALK CONCRETE