

GENERAL NOTES

1. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL CODES. SECURE ALL REQUIRED PERMITS AND APPROVALS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION. ALL REFERENCE TO CODE SECTIONS HEREIN REFER TO THE APPLICABLE CODE W/ LOCAL AMENDMENTS.
2. DO NOT SCALE PRINTS. WRITTEN DIMENSIONS TAKE PRECEDENCE IN ALL CASES.
3. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF THE BUILDER AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH THE BUILDER.
4. ALL PRODUCTS SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
5. THE BUILDER SHALL INCLUDE ANY WORK REQUIRED TO MAKE THE END RESULT BUILDING OPERATIVE AND OCCUPIABLE. IF EQUIPMENT, MATERIAL, AND/OR INTENT ARE NOT DETAILED IN DRAWINGS OR SPECIFICATIONS BUT ARE OBVIOUSLY REQUIRED AS INDUSTRY STANDARD FOR OPERATIVE CONDITIONS, THIS WORK SHALL BE INCLUDED IN BASE BID. IF THE OWNER DOES NOT ACCEPT THE BUILDER'S SELECTION, THE ADDITIONAL COST (TO THE BUILDER) OF THAT EQUIPMENT OR MATERIALS CHOSEN BY THE OWNER OR BUILDER WILL BE OFFSET BY CHANGE ORDER.
6. NOTE: ALL DIMENSIONS ARE TO THE FACE OF STUD, WALL OR CENTER LINE OF UNIT AS INDICATED (TYPICAL UNLESS OTHERWISE INDICATED).
7. CONDITIONS OF WORK: ALL BIDDERS, CONTRACTORS, AND SUB CONTRACTORS MUST INFORM THEMSELVES FULLY OF THE CONDITIONS RELATING TO THE CONSTRUCTION OF THE PROJECT AND THE EMPLOYMENT OF LABOR THEREON. FAILURE TO DO SO WILL NOT RELIEVE A SUB-CONTRACTOR OF THE OBLIGATION TO FURNISH ALL MATERIAL AND LABOR NECESSARY TO CARRY OUT THE PROVISIONS OF THE CONTRACT. IN SO FAR AS POSSIBLE, THE SUB-CONTRACTOR, IN CARRYING OUT THE WORK, MUST EMPLOY SUCH METHODS OR MEANS AS WILL NOT CAUSE ANY INTERRUPTION OF OR INTERFERENCE WITH THE WORK OF ANY OTHER CONTRACTOR.

GENERAL DEMOLITION NOTES

1. PERFORM DEMOLITION, REMOVAL, AND ALTERATION WORK WITH DUE CARE, INCLUDING SHORING, BRACING AND OTHER MEASURES, BE RESPONSIBLE FOR ANY DAMAGE THAT MAY BE CAUSED BY SUCH WORK TO ANY PARTS OF EXISTING STRUCTURE OR ITEMS DESIGNATED FOR RE-USE.
2. DEMOLISH MASONRY IN SMALL MANAGEABLE SECTIONS.
3. INSTALL TEMPORARY SHORES, STRUTS, AND/OR BRACING TO PREVENT
4. COLLAPSE OF ANY STRUCTURES, RE: STRUCT.
5. MAKE EXPLORATION DEMOLITION AND PROBES AS NECESSARY TO DETERMINE ANY REQUIRED PROTECTIVE MEASURES BEFORE PROCEEDING WITH DEMOLITION AND REMOVAL. GIVE PARTICULAR ATTENTION TO SHORING AND BRACING REQUIREMENTS TO PREVENT DAMAGE TO EXISTING CONSTRUCTION.
6. REFER TO DIMENSION PLANS FOR DEMOLITION EXTENT REQUIRED.
7. CITY TO INSPECT TREES SELECTED FOR PRESERVATION PRIOR TO ANY SITE DISTURBANCE.

GENERAL SURVEY NOTES

1. BUILDER SHALL HAVE A SURVEYOR VERIFY THE LOCATION OF THE BUILDING FOOTPRINT WITH RESPECT TO ALL APPLICABLE BUILDING SETBACKS PRIOR TO CONSTRUCTION.
2. BUILDER TO FIELD VERIFY AND COORDINATE UTILITY CONNECTIONS, THEIR RANKING, METER LOCATIONS, HOSE BIBBS AND OTHER ASSOCIATED ITEMS. BUILDER IS TO HAVE ALL EXISTING UTILITY LOCATIONS LOCATED BY ITS RESPECTIVE AUTHORITY, AND CONNECTIONS TO THOSE UTILITIES SHOULD TAKE THE MOST DIRECT ROUTE TO THE BUILDING.
3. 3. ALL EXISTING TREES TO REMAIN ARE TO BE PROTECTED FROM ANY DAMAGE BY CONSTRUCTION. ANY ROOTS EXPOSED DURING EXCAVATION ARE TO BE CUT BY A PROFESSIONAL ARBORIST AND PROTECTED AS REQUESTED BY THE PROFESSIONAL. ANY BRANCHES TO BE REMOVED SHALL BE CUT BY A PROFESSIONAL ARBORIST.
4. 4. UNLESS OTHERWISE NOTED PROVIDE POSITIVE DRAINAGE AWAY FROM FOUNDATION. ALL SITE GRADING SHOULD BLEND NATURALLY WITH EXISTING GRADES USING A MAX. SLOPE OF 6":10".
5. 5. EXT. WALLS TO BE 2X6 AT 16" O.C. INTERIOR WALLS ARE 2X4 STUDS AT 16" O.C. OR PER STRUCTURAL.
6. 6. WINDOWS INDICATED ARE NOMINAL SIZES (FT./IN.). ALL WINDOWS ARE CLAD WOOD, DOUBLE PANELED, AND TO HAVE "LOW E" TECHNOLOGY. REF. TO BLDG. ELEV. FOR WINDOW OPERATION. BASEMENTS AND BEDROOMS SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW FOR EMERGENCY ESCAPE IN ACCORDANCE TO CODE. TEMPERED GLASS IS TO BE PROVIDED WHEN: WITHIN A 24" ARC OF DOORS (OPENED OR CLOSED) OR IN OTHER AREAS SUBJECT TO HUMAN IMPACT, USED IN DOORS, PLACED LESS THAN 18" A.F.F. AND GREATER THAN 9 SQ.FT. IN SIZE, AT BATHTUB DECK LOCATIONS
7. 7. TRUSS MANUFACTURER SHALL PROVIDE TRUSS LAYOUT AND PROFILES TO THE STRUCTURAL ENGINEER AND BUILDER FOR REVIEW AND COORDINATION. SUCH WORK SHALL BE BASED ON THE STRUCTURAL DRAWINGS. DIMENSIONS SHOWN FOR TRUSSES ON SECTION SHEETS ARE TO BE USED AS GENERAL GUIDES AND SHALL BE VERIFIED BY THE TRUSS MANUFACTURER.
8. 8. ALL SMOKE ALARMS ARE REQUIRED TO BE HARDWIRED AND INTERCONNECTED IN NEW AND EXISTING BEDROOMS, HALLS AND ON EACH LEVEL.
9. 9. ALL SOUND BATIS ARE TO BE CELLULOSE. LOCATE BETWEEN ALL FLOORS, AND AT SOUND WALLS AS IDENTIFIED BY OWNER.
10. 10. FIRESTOP ALL FLUES AND WALLS PER LOCAL CODE REQ.
11. 11. GAS FIREPLACE SHALL BE INSTALLED IN STRICT ACCORDANCE WITH THE MANUFACTURERS INSTALLATION INSTRUCTIONS. A COPY OF THESE INSTRUCTIONS MUST BE AVAILABLE TO THE FIELD INSPECTOR AT THE TIME OF INSPECTION. ONLY GAS FIREPLACES AND CHIMNEY COMPONENTS LISTED BY A NATIONALLY RECOGNIZED TESTING AGENCY ARE ACCEPTABLE.
12. 12. ALL GUARDRAILS SHALL COMPLY WITH APPLICABLE CODE AND AS AMENDED BY LOCAL REQ. ALL HANDRAILS ARE TO COMPLY WITH APPLICABLE CODE AND AS AMENDED BY LOCAL REQ.
13. 13. PROVIDE COMBUSTION AIR TO FURNACES AND WATER HEATER PER CODE AND AS AMENDED BY LOCAL REQ.
14. 14. PROVIDE GUTTERS AND DOWNSPOUTS. A 4'-0" MIN. EXTENSION IS TO BE PROVIDED. OR OTHER APPROVED METHOD OF DISCHARGING DOWNSPOUT WATER AWAY FROM FOUNDATION IS TO BE EMPLOYED.
15. 15. PROVIDE 1 HR. FIRE PROTECTION AT USEABLE SPACE UNDER STAIR BY CONSTRUCTION THE WALLS AND UNDERSIDE OF STAIR WITH 5/8" TYPE "X" GYP. BOARD IF APPLICABLE.
16. 16. PROVIDE: FLOOR BLOCKING, WALL BLOCKING AND ROOF BLOCKING PER ENGINEER. FIRE BLOCKING PER CODE.
17. 17. PROVIDE CRAWL SPACE, ATTIC, AND ROOF VENTILATION PER CODE (IF REQ.).

GENERAL MECHANICAL AND ELECTRICAL NOTES

1. ALL ELECTRICAL OUTLETS, LIGHT FIXTURES, FANS, SWITCHES, ETC., SHALL COMPLY WITH THE 2020 NEC, & AS AMENDED BY THE LOCAL CITY CODES.
2. 2. BUILDER TO COORD. LOC. OF GAS, WATER & ELECTRICAL METER & PANEL LOCATIONS.
3. 3. TYP. OUTLETS TO BE INSTALLED AT +16" A.F.F. U.N.O. - VERIFY W/ OWNER. OUTLETS INDICATED AT COUNTERS ARE TO BE INSTALLED AT +44" A.F.F. U.N.O. -
4. 4. OUTLETS IN FLOORS ARE TO BE FIELD VERIFIED FOR LOC. BY OWNER.
5. 5. TWO OR MORE 20-AMPERE SM. APPLIANCE BRANCH CIRCUITS SHALL BE PROVIDED FOR ALL RECEPTACLE OUTLETS LOCATIONS IN KITCHEN, PANTRY, NOOK, DINING RM. OR SIM. AREA. THESE CIRCUITS MUST HAVE NO OTHER OUTLETS CONNECTED. RE: 210-52B '20 NEC.
6. 6. RE: 210-52, & 210-8 '20 NEC. FOR OUTLET LOC. & GFI LOC. THROUGHOUT DWELLING.
7. 7. INSTALL ONE GFI OUTLET ADJACENT TO EACH BASIN IN ALL BATHROOMS. BATHROOM OUTLET(S) SHALL BE SUPPLIED BY AT LEAST ONE 20-AMPERE BRANCH CIRCUIT. SUCH CIRCUITS SHALL HAVE NO OTHER OUTLETS CONNECTED. RE: 210-52D, & 210-8 '20 NEC.
8. 8. OUTLETS IN THE FOLLOWING LOC. ARE TO HAVE GFI PROTECTION: BATHROOMS, GARAGES, OUTDOORS, CRAWL SPACES, UNF. BASEMENTS, KITCHENS, WET BAR SINKS, LAUNDRY SINKS, & ROOFTOPS. RE: 210-52, & 210-8 '20 NEC.
9. 9. SMOKE DETECTORS: SHALL BE INSTALLED IN FOLLOWING AREAS: AT EACH SLEEPING ROOM, & AT A POINT CENTRALLY LOCATED IN THE CORRIDOR GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. ANY DWELLING UNIT OF MORE THAN ONE STORY & DWELLINGS WITH BASEMENTS, ONE (SD.) ON EA. STORY SHALL BE INSTALLED. IN NEW CONSTRUCTION (SD.) SHALL BE PRE-WIRED, & HAVE A BATTERY BACKUP POWER. RE: R317 2018 I.R.C.
10. 10. VENTILATION: BATHROOMS, WATER CLOSET COMPARTMENTS, LAUNDRY RMS., & SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION W/ AN AREA NOT LESS THAN 1/20 THE FLR. AREA W/ A MIN. OF 1 1/2 SF. IN LIEU OF REQ. EXT. OPENING - BATHROOMS CONTAINING A BATHTUB OR SHOWER, OR COMBINATION THEREOF, LAUNDRY ROOMS, & SIM. ROOMS, A MECH. VENTILATION SYSTEM CONNECTED DIRECTLY TO THE EXTERIOR CAPABLE OF FIVE AIR CHANGES PER HOUR SHALL BE PROVIDED. SUCH SYSTEMS SHALL BE CONNECTED DIRECTLY TO OUTSIDE, & THE POINT OF DISCHARGE SHALL BE 3' FROM ANY OPENING. BATHROOMS WHICH CONTAIN ONLY A WATER CLOSET OR BATHROOM OR COMBINATION THEREOF MAY HAVE A APPROVED RECIRC. FAN OR SIM. DEVICE. RE: 2018 I.R.C. UPPER LEVEL VENTING TO AVOID SOLAR PANEL LOCATIONS.
11. 11. GAS LOG OR FIREPLACE: SHALL REQUIRE A MANUAL SHUT-OFF VALVE LOCATED WITHIN 4' OF THE FIREBOX, ACCESSIBLE TO THE ROOM IN WHICH THE APPLIANCE IS LOCATED. OUTSIDE COMBUSTION AIR MUST BE PROVIDED DIRECTLY TO THE FIREBOX. RE: 2018 I.M.C.
12. 12. A MAXIMUM LOADS ON BRANCH CIRCUIT TO BE CALCULATED PER 220' '20 NEC
13. 13. LIGHT FIXTURES IN CLOTHES CLOSETS MUST COMPLY WITH 410-8 '20 NEC
14. 14. THE GROUNDING ELECTRODE SYSTEM SHALL INCLUDE AN ELECTRODE ENCASED BY AT LEAST 2" OF CONCRETE, LOCATED WITHIN AND NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH, CONSISTING OF AT LEAST 20 FT. OF ONE OR MORE BARE OR ZINC GALVANIZED OR OTHER ELECTRICALLY CONDUCTIVE COATED STEEL REINFORCING BARS OR RODS OF NOT LESS THAN 1/2" DIA., OR CONSISTING OF AT LEAST 20 FT. OF BARE COPPER CONDUCTOR NOT SMALLER THAN 4 AWG PER 250-52 (A) '20 NEC
15. 15. FIELD VERIFY ALL POWER AND CABLE REQUIREMENTS WITH OWNER AT ENTERTAINMENT AND HOME MANAGEMENT CENTERS.
16. 16. COORD. OPTIONAL CAT-5 OR EQUAL PRE-WIRE UPGRADE THROUGHOUT HOME WITH OWNER.
17. 17. ELECTRIC VEHICLE CHARGING REQUIREMENTS PER 2021 IECC.

ZONING RL OLD TOWN OVERLAY DISTRICT THIS BUILDING HAS PRESERVATION STATUS

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LOT LINE SETBACKS

	<u>Existing</u>	<u>Proposed</u>
West Side- Street	22.4'	22.4'
East Side- Alley	5.5'	31.7'
Side Lot – North	10.9'	10.1'
Side Lot – South	11.3'	8.8'

LOT COVERAGE

Lot Size 7800 sf

Existing	
House with balcony	1852 sf
Porch and cover	205 sf
Carport	305 sf
Shed	<u>84 sf</u>
Total coverage	2491 sf

<u>Proposed</u>	
House	2322 sf
Landing/Stair above 30"	24 sf
Covered walk-out	89 sf
Front Porch	<u>98 sf</u>
Total	2533 sf
Lot Coverage	32.48%

Allowable Lot Coverage with Preservation Bonus	35.0%
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FLOOR AREA RATIO (FAR) ANALYSIS

First floor area excluding open porch, basement, and exterior deck/steps	2050
Second floor area excluding open balcony	<u>614</u>
Total Floor Area	2664
Floor Area Ratio	34.2%
Allowable FAR with Preservation Bonus	40%

ELECTRIC NOTES

ALL ELECTRICAL INSTALLATIONS SHALL COMPLY WITH THE 2018 IRC & 2020 NEC

ALL BRANCH CIRCUITS THAT SUPPLY ELECTRICAL IN BEDROOMS NEED TO BE PROVIDED WITH ARC-FAULT PROTECTION. IRC E3902.11

PLUMBING

ALL PLUMBING INSTALLATIONS SHALL COMPLY WITH THE 2018

MECHANICAL

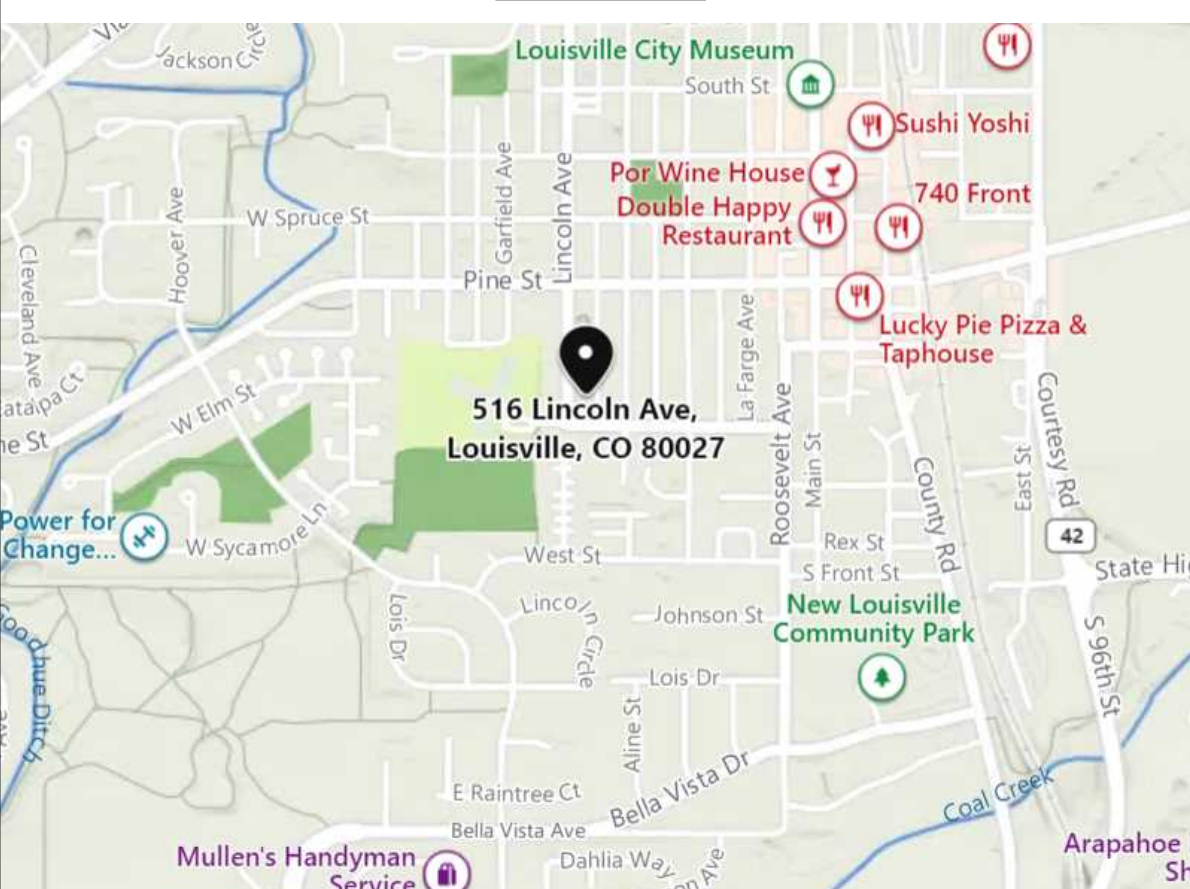
ALL MECHANICAL INSTALLATIONS SHALL COMPLY WITH THE 2018 IRC & 2018 IFGC

ENERGY NOTES:

1. PRESCRIPTIVE ENVELOPE REQUIREMENTS PER 2021 IECC.
- FENESTRATION U-FACTOR .30
- SKYLIGHT U-FACTOR .55
- CEILING R-VALUE 60
- WOOD FRAME WALL VALUE R-20 CAVITY INSULATION WITH R-5 CONTINUOUS EXTERIOR INSULATION.
- FLOOR R-VALUE 30
- HEATED BASEMENT AREAS WALL INSULATION R15 CONTINUOUS
- CRAWL SPACE WALL INSULATION R15 CONTINUOUS
2. ALL DUCTWORK OUTSIDE THE CONDITIONED BUILDING ENVELOPE, I.E. UNCONDITIONED BASEMENT, CRAWLSPACE, OR ABOVE THE GARAGE TO BE SEALED WITH MASTIC AND INSULATED TO MINIMUM R-8.
3. DUCT LEAKAGE TO OUTSIDE NOT TO EXCEED 150 CFM AT 25 PASCALS.
- PERFORMANCE WILL BE TESTED BY HERS RATER WHEN REQUIRED.
4. ALL BUILDING ENVELOPE COMPONENTS TO BE SEALED APPROPRIATELY.
- WHOLE HOUSE INFILTRATION SHALL COMPLY WITH ASHRAE 62.2 (.23 NACH [NATURAL AIR CHANGES PER HOUR] OR LOWER) AND WILL BE TESTED BY HERS RATER, WHEN REQUIRED.
5. ALL RIM AND BAND JOISTS TO BE SEALED AND INSULATED WITH R30 BATTS IN ALL AREAS WHERE THEY SEPARATE CONDITIONED SPACE FROM AMBIENT CONDITIONS OR FROM GARAGE.
6. 90% OF LIGHTING IN REGULAR-USE SPACES (NOT INCLUDING CLOSETS AND MECHANICAL ROOMS) TO UTILIZE HIGH-EFFICIENCY BULBS TO BE INSTALLED AT THE TIME OF INSPECTION.
7. ALL TOILETS TO BE DUAL-FLUSH WITH AN AVERAGE OF 1.5 GPM AT 60 PSI. LAVATORY FAUCETS IN ALL BATHROOMS TO HAVE AERATORS WITH A MAXIMUM FLOW RATE OF 1.5 GPM AT 60 PSI. ALL SHOWER HEADS TO HAVE MAXIMUM FLOW RATE OF 2.0 GPM AT 80 PSI.
8. LUMBER SHOULD BE FSC-CERTIFIED WHEN FEASIBLE.
9. BUILDING MATERIALS TO BE SOURCED LOCALLY (WITHIN 500 MILES) WHEN FEASIBLE.
10. ALL INTERIOR PAINT TO COMPLY WITH GREEN SEAL STANDARD GS-11.
11. ALL INTERIOR WOOD FINISHES TO CONTAIN VOC CONCENTRATIONS OF 150 GPL
- OR LESS.
12. INTERIOR TRIM TO BE PAINTED MDF, TYP. U.N.O.
13. BATH EXHAUST FANS TO BE INTEGRATED WITH TIMER OR HUMIDISTAT CONTROLS.
14. FURNACE FILTER TO HAVE RATING BETWEEN MERV 6 AND 10.
15. PROVIDE ACTIVE RADON MITIGATION VENTILATION SYSTEM, WHEN REQUIRED.
16. BUILDER TO PROVIDE BINDER FOR HOMEOWNER CONTAINING EQUIPMENT MANUFACTURER'S INSTALLATION MANUALS FOR ALL EQUIPMENT, FIXTURES AND APPLIANCES.
17. ALL EXTERIOR WINDOWS TO HAVE A U-VALUE OF .30 OR LOWER.
18. ALL HEADERS TO BE INSULATED WITH MIN. R-10.
19. COORDINATE VERTICAL CHASE FOR RADON INSULATION WITH RADON MITIGATION CONSULTANT, WHEN REQUIRED.
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VICINITY MAP

A 3D architectural rendering of a two-story house. The house features a light-colored, possibly white, exterior with horizontal siding. It has a complex roofline with multiple gables and a brown shingled roof. On the left side, there is a covered front porch with a black metal railing. The front facade includes several windows: a large multi-paned window in the center, a smaller window to its left, and a black door on the right. A two-car garage with a white door is attached to the right side of the house. The house is set on a green lawn, and a dark grey driveway leads to the garage. Four tall, narrow evergreen shrubs are planted in front of the house. The background is a plain white sky.

EXISTING SQUARE FOOTAGE	
AREA	SQUARE FEET
FIRST FLOOR LIVING	1823
SECOND FLOOR LIVING	440
SECOND FLOOR DECK	48
TOTAL	2311

PROPOSED SQUARE FOOTAGE	
AREA	SQUARE FEET
FIRST FLOOR LIVING	1759
FIRST FLOOR PORCH	96.5
GARAGE	492
SECOND FLOOR LIVING	578
SECOND FLOOR DECK	116
TOTAL	3041

DOOR SCHEDULE

MARK	QTY	DESCRIPTION	ROUGH OPENING
1	2	ENTRANCE DOOR W/ SIDELITES	5068
2	6	INTERIOR DOOR	21068
3	1	POCKET DOOR	21068
4	2	INTERIOR DOOR	2668
5	1	INTERIOR DOOR	3068
6	1	FIRE RATED ENTRANCE DOOR FROM GARAGE	3068
7	1	DOUBLE FRENCH DOOR (SECOND FLOOR BDR EGRESS)	5068
8	1	SINGLE GARAGE DOOR	16070
9	1	ENTRANCE DOOR	3068
10	1	INTERIOR DOOR	2668
11			TOTAL

ROOM #	SQUARE FEET
1	199
2	529
3	60
4	289
5	82
6	205
7	94
8	109
9	48
10	143
11	247
12	128
13	492
14	85.5

WINDOW SCHEDULE

MARK	QTY	DESCRIPTION	ROUGH OPENING	NET GLASS AREA (SQ/FT)
A	4	DOUBLE HUNG	3'-0" X 4'-0"	
B	5	DOUBLE HUNG (2) MUL	5'-0" X 4'-0"	
C	1	BAY WINDOW	6'-0" X 3'-0"	
D	2	SKYLITE VELUX FS C06	21" x 45.75"	4.5
E	1	DOUBLE HUNG WINDOW	2'-8" X 3'-6"	
F	1	DOUBLE HUNG	2'-6" X 3'-0"	
G	1	AWNING WINDOW	2'-6" X 2'-0"	
H	3	DOUBLE HUNG	3'-0" X 5'-0"	
J	1	DOUBLE HUNG (2) MUL	6'-0" X 4'-0"	
K	1	AWNING WINDOW	2'-0" X 2'-0"	
L	1	DOUBLE HUNG (2) MUL	5'-4" X 5'-0"	
M	1	DOUBLE HUNG	2'-6" X 4'-6"	
			TOTAL	

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LOCATION
5116 LINCOLN AVE
LOUISVILLE CO 80027

PROJECT
RESIDENTIAL REMODEL

PROJECT NO.
245.170

ISSUE
07.05.22

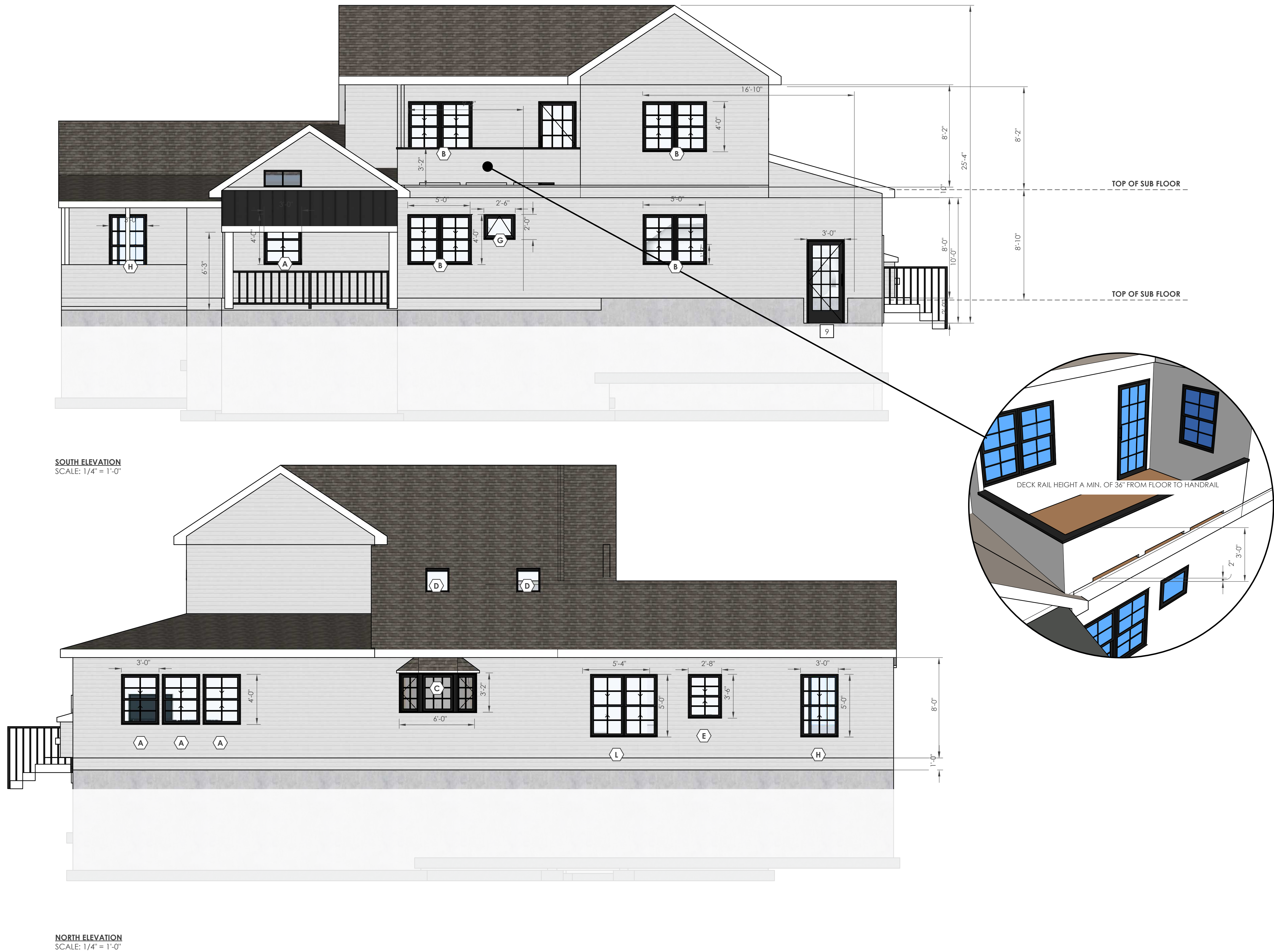
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ELEVATIONS
LEFT / RIGHT

COVER



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ELEVATIONS
LEFT / RIGHT



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

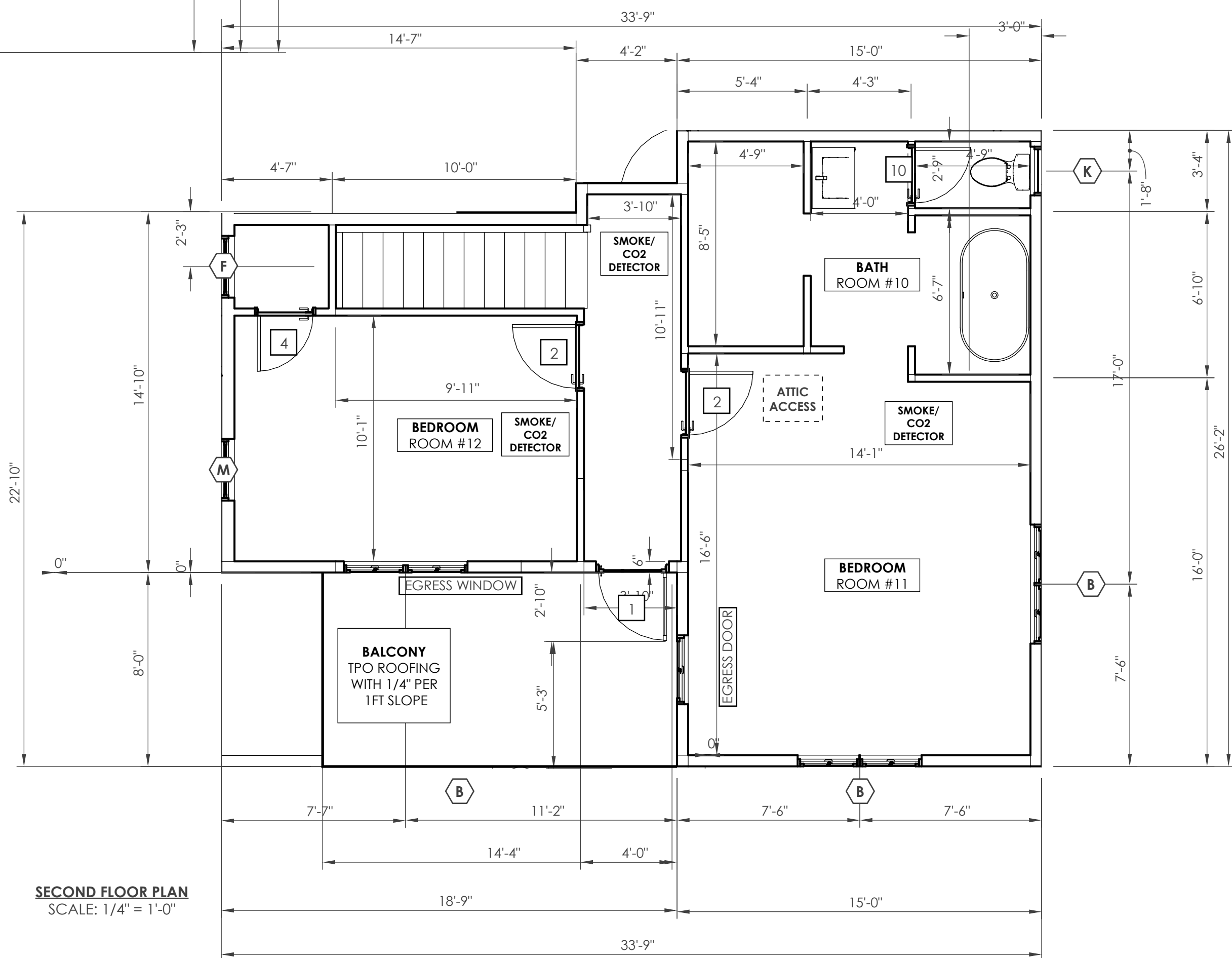
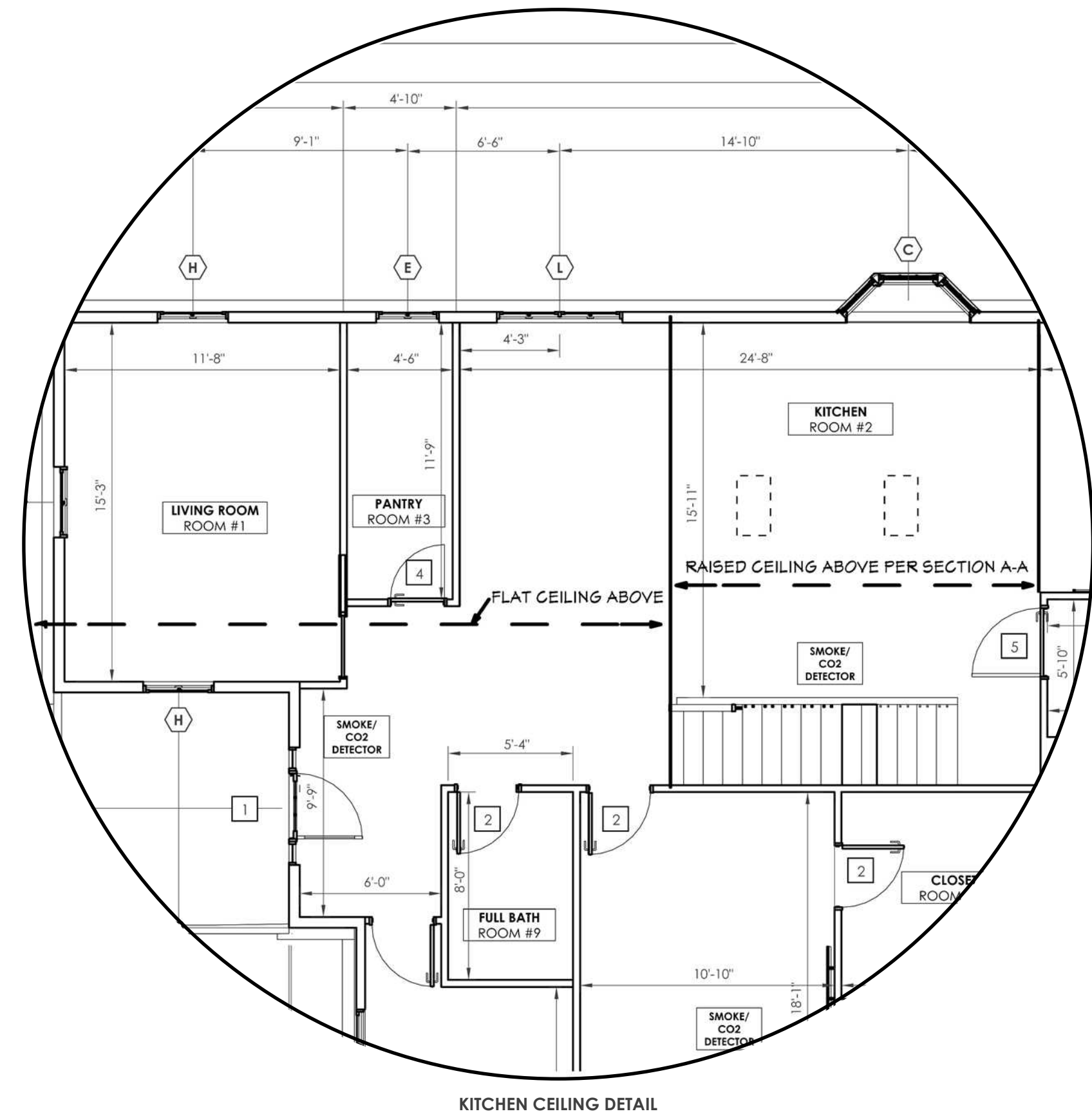
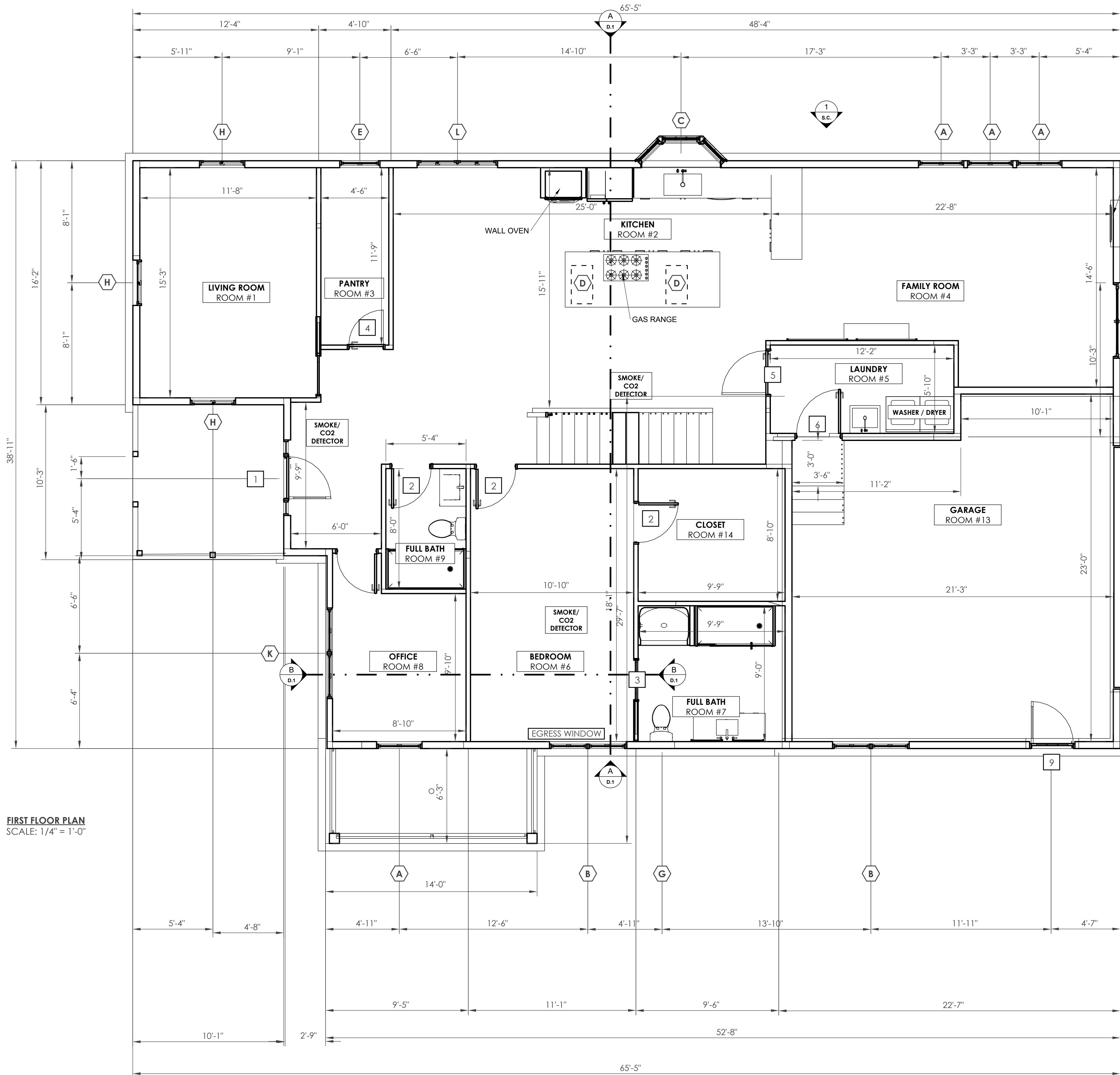
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ELEVATIONS
FRONT / BACK



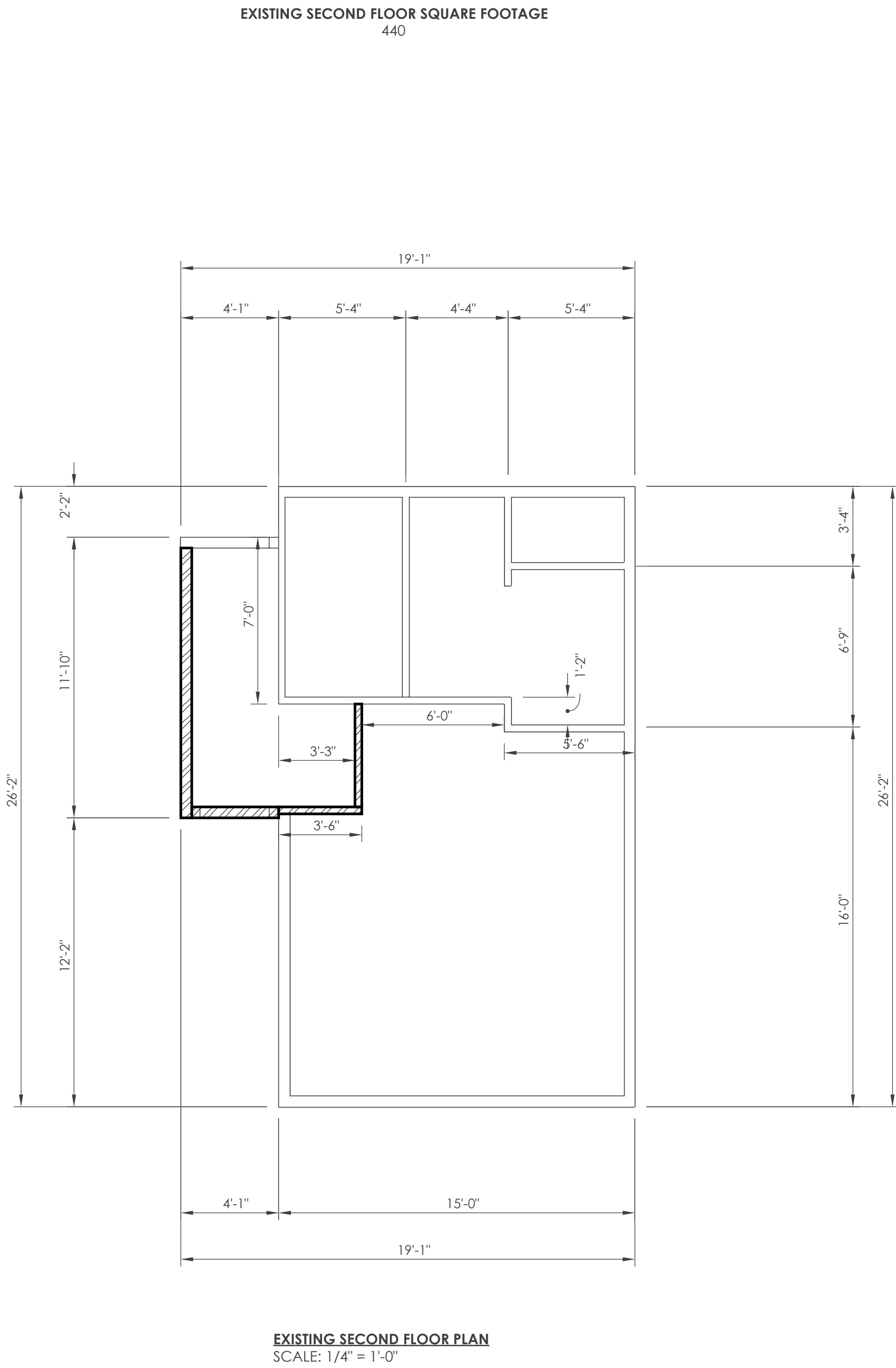
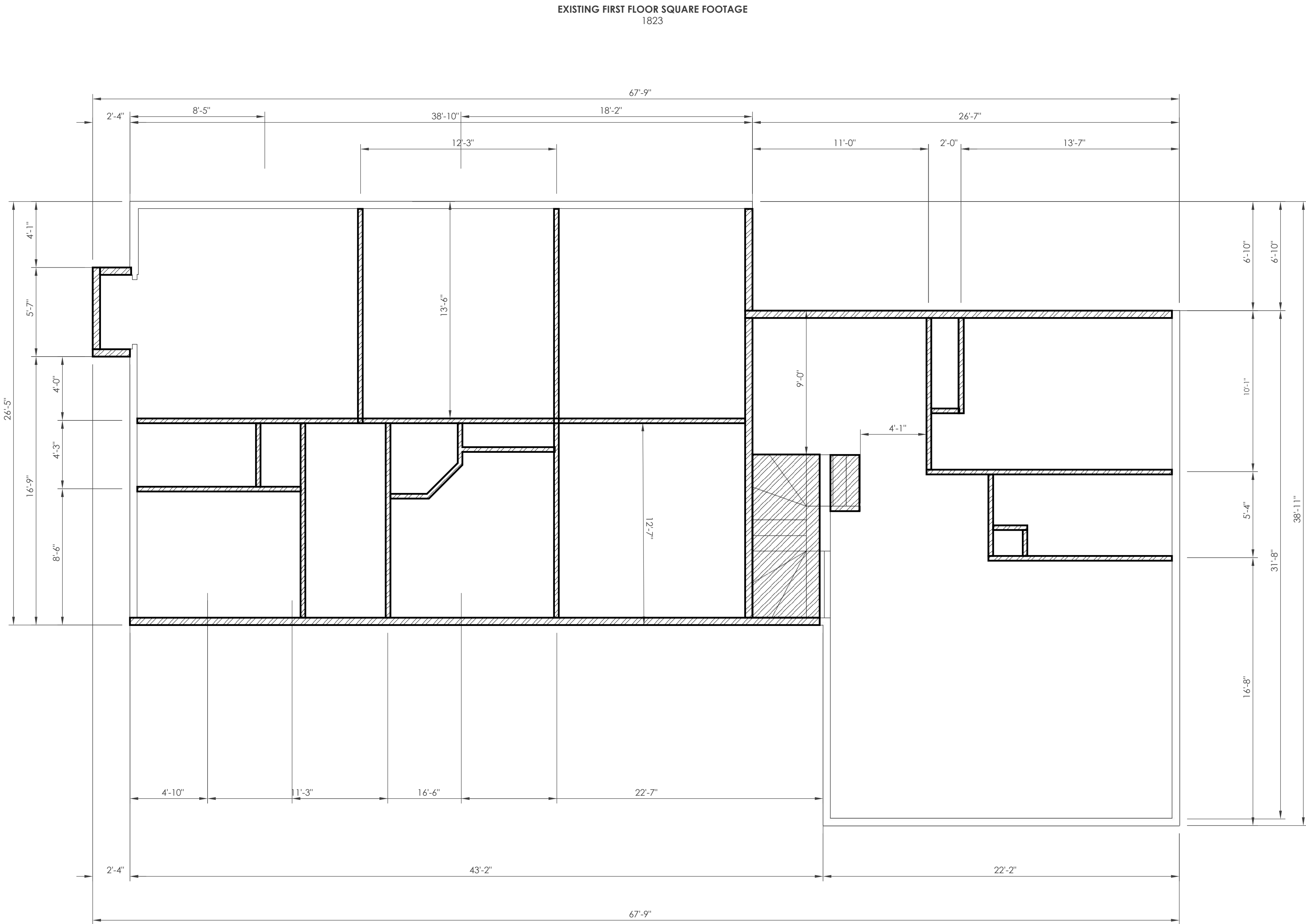
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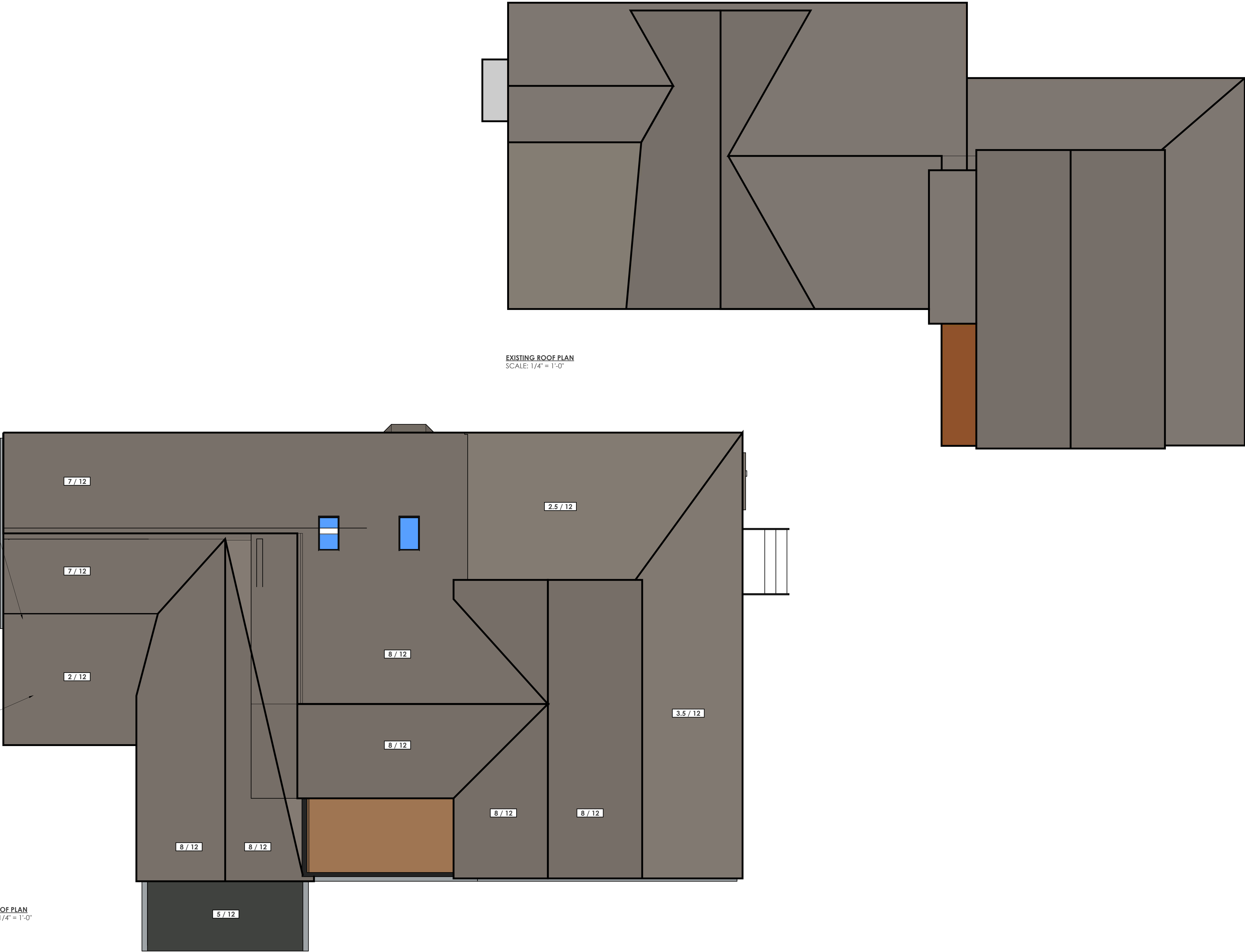
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FIRST & SECOND
FLOOR PLAN





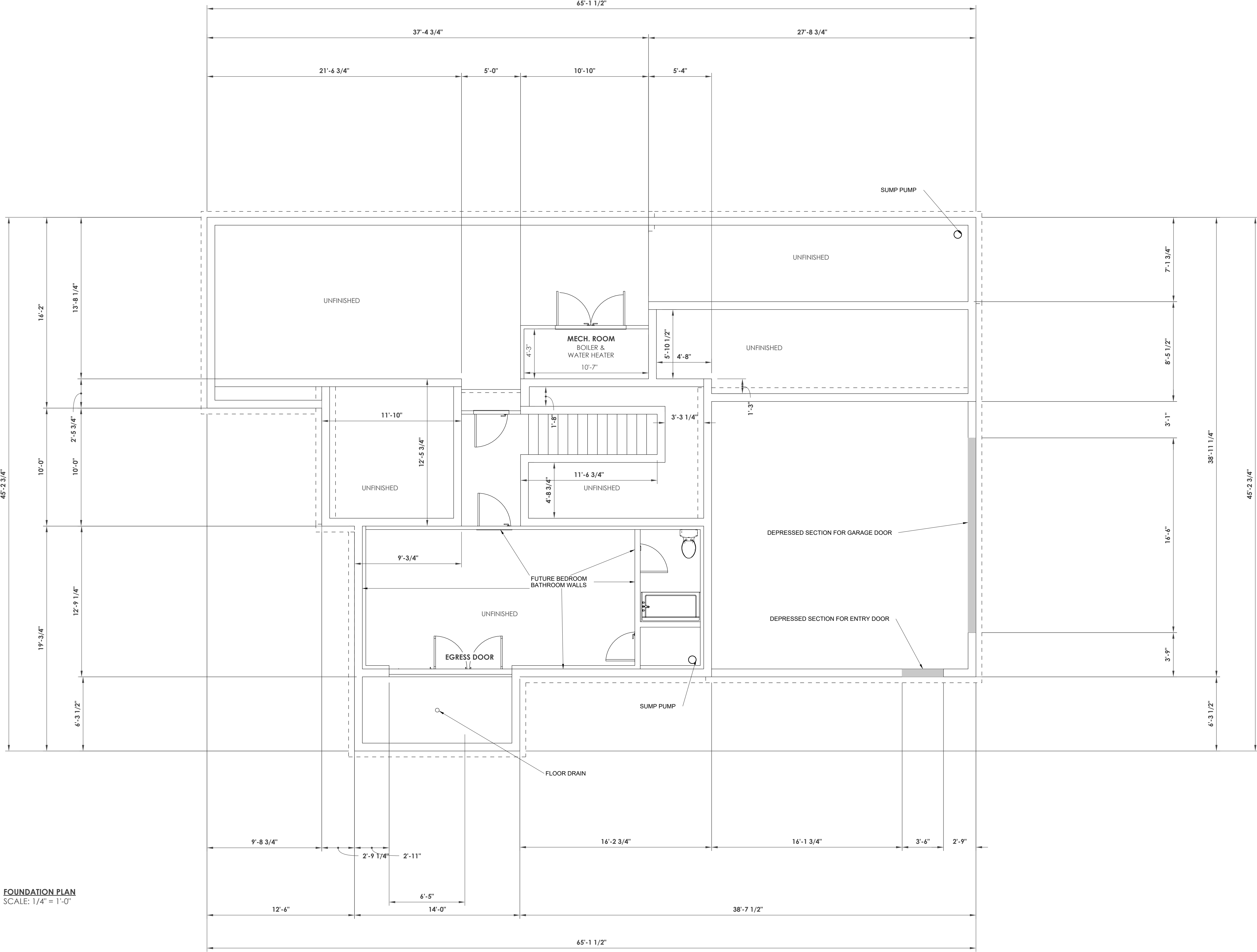
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NEW AND EXISTING
ROOF PLAN



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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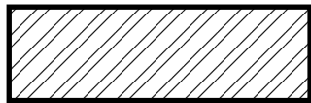
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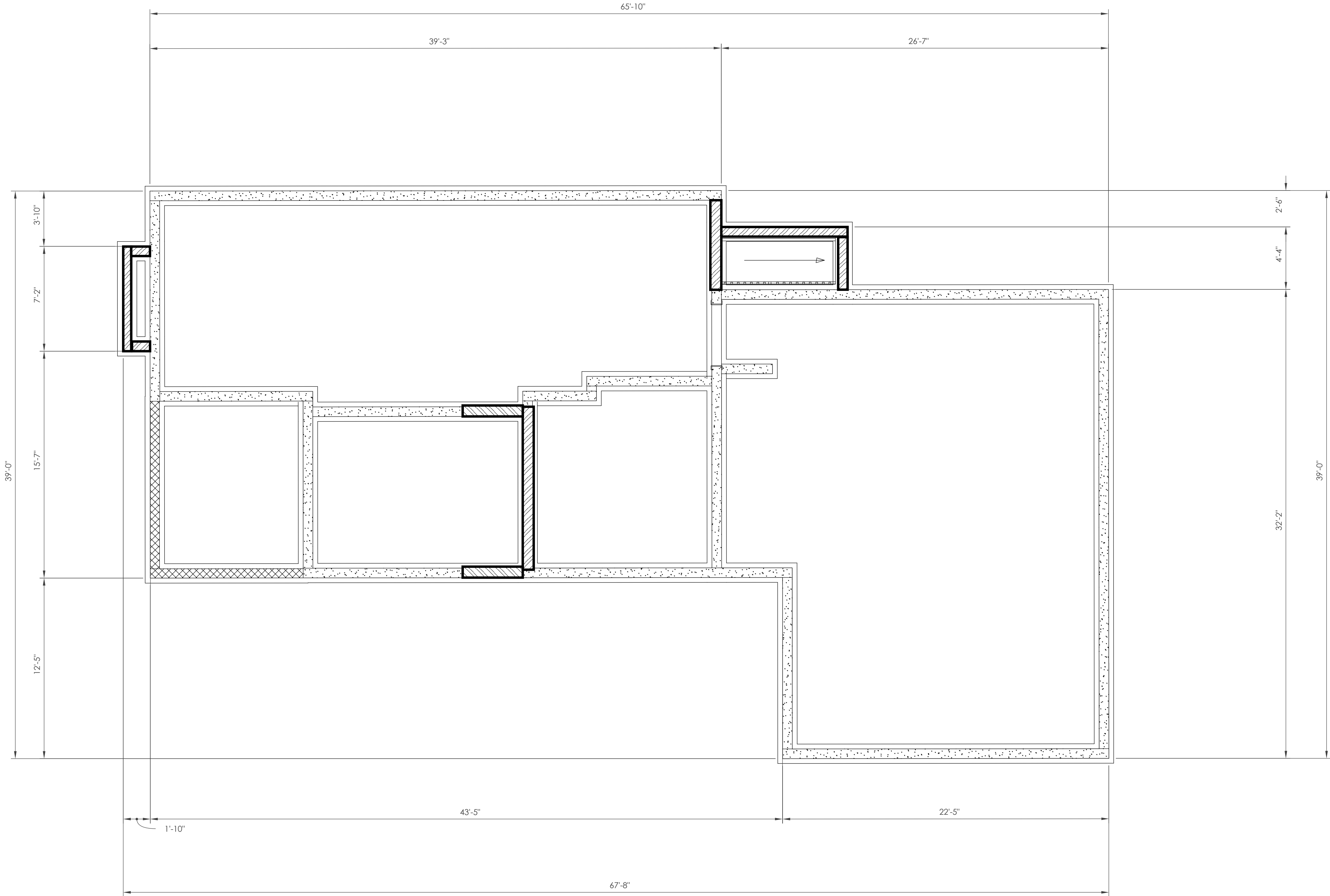
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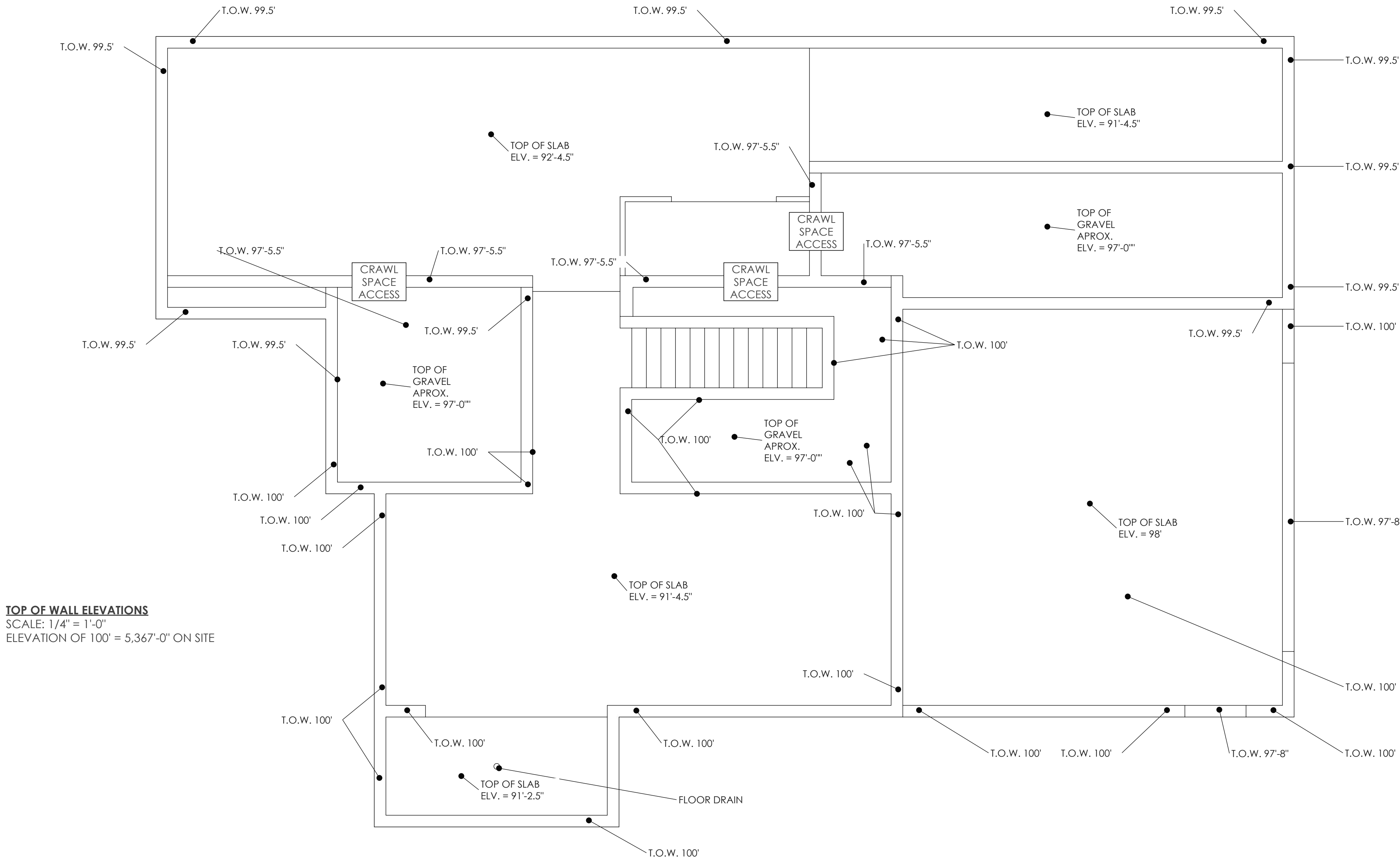
FOUNDATION PLAN

EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"



DEMO WALL





TOP OF WALL ELEVATIONS
SCALE: 1/4" = 1'-0"
ELEVATION OF 100' = 5,367'-0" ON SITE

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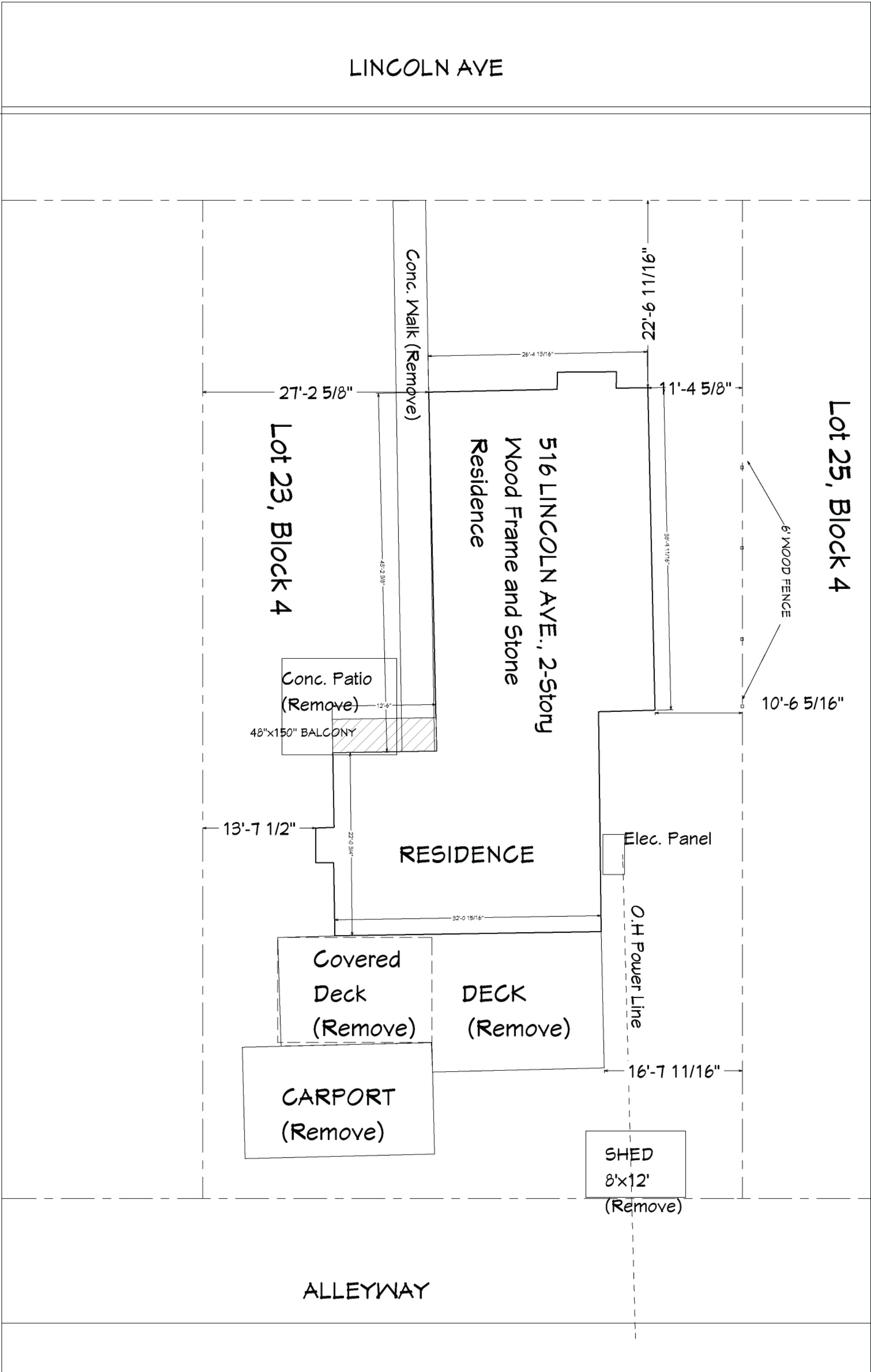
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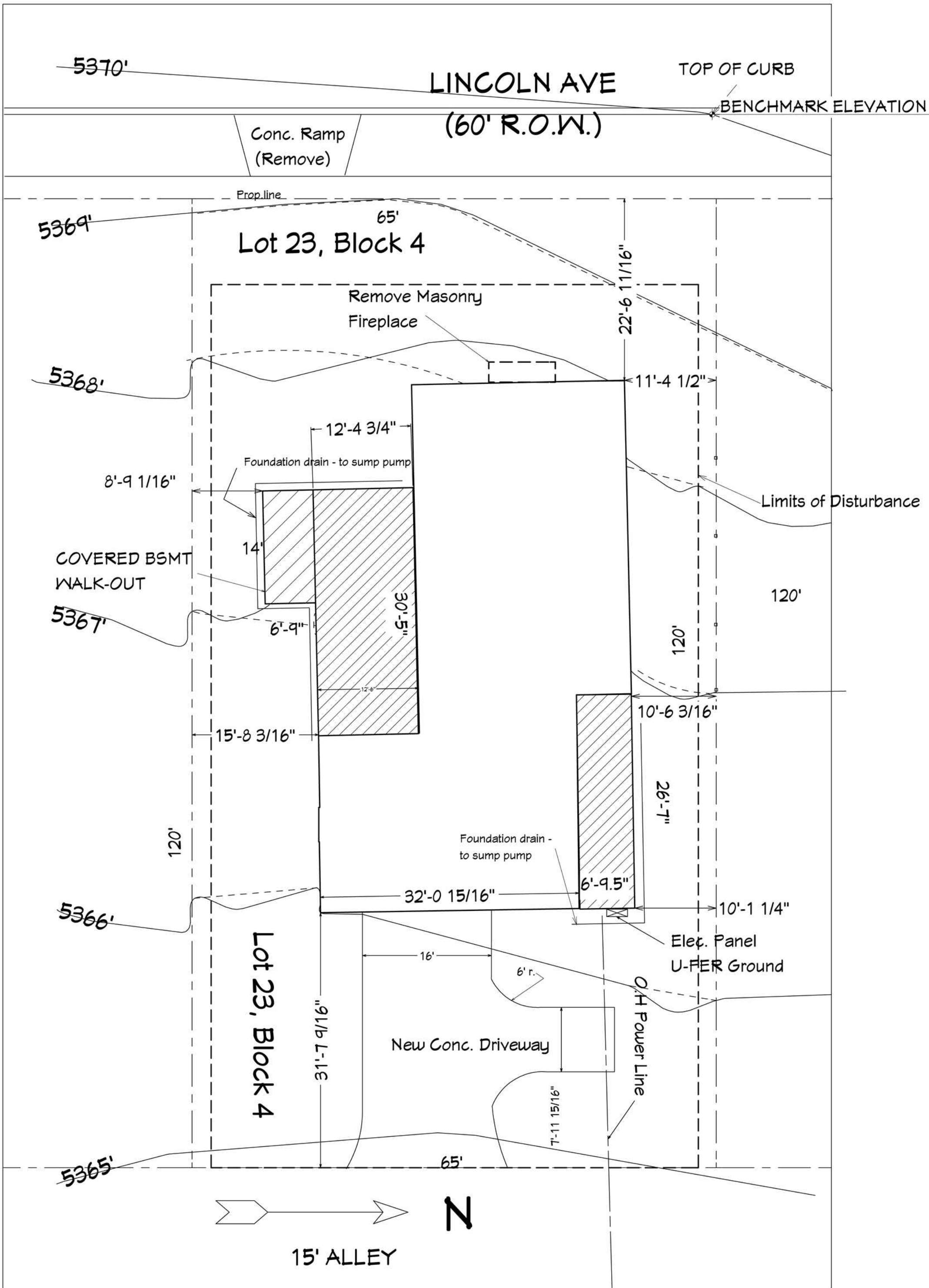
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NEW
FOUNDATION
PLAN

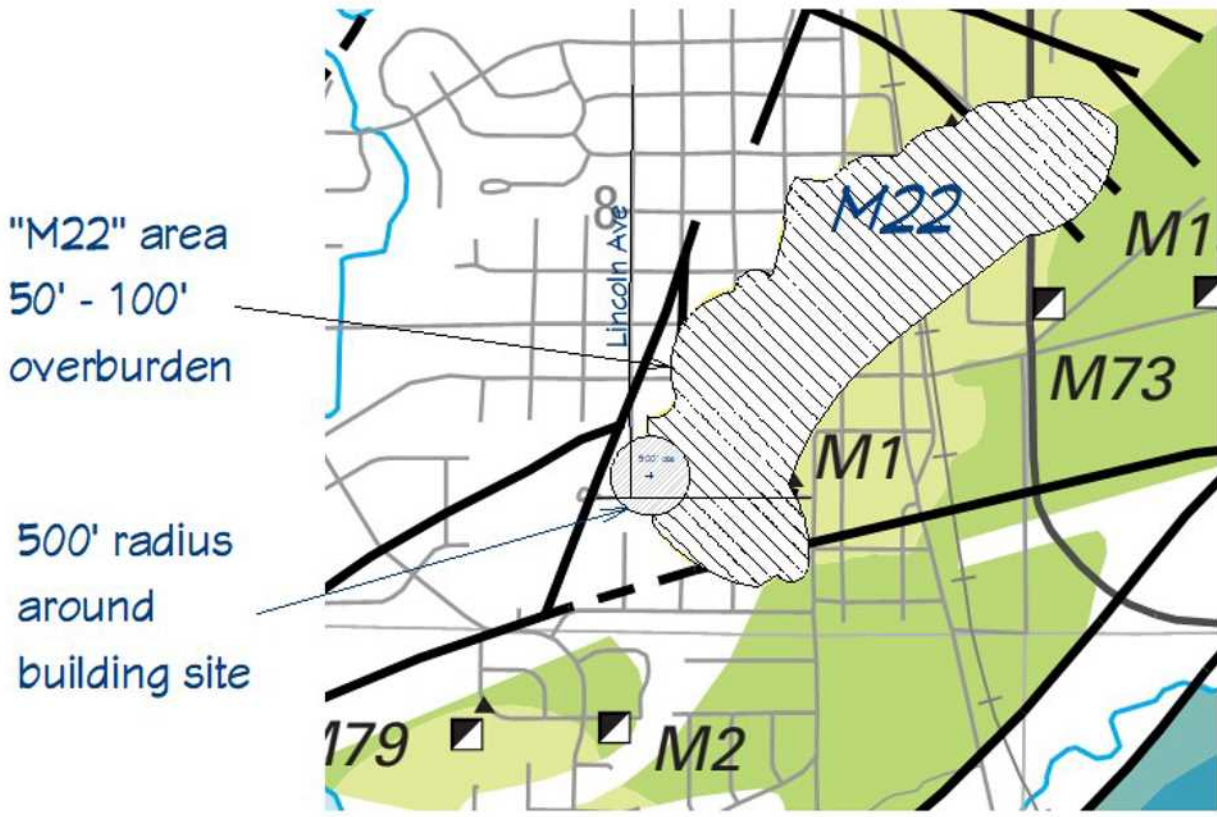
F.3



EXISTING 1"= 10'



Note: finish grade to slope away from fdn. min 6" in 1st 10 ft. Drain away from house at all points. No drainage onto neighboring property.
Dumpster, toilet, and materials to be located only on property.
SITE PLAN 1"=10'



NEARBY MINE LOCATIONS
Source: USGS "Maps Showing the Extent of Mining..." 2001

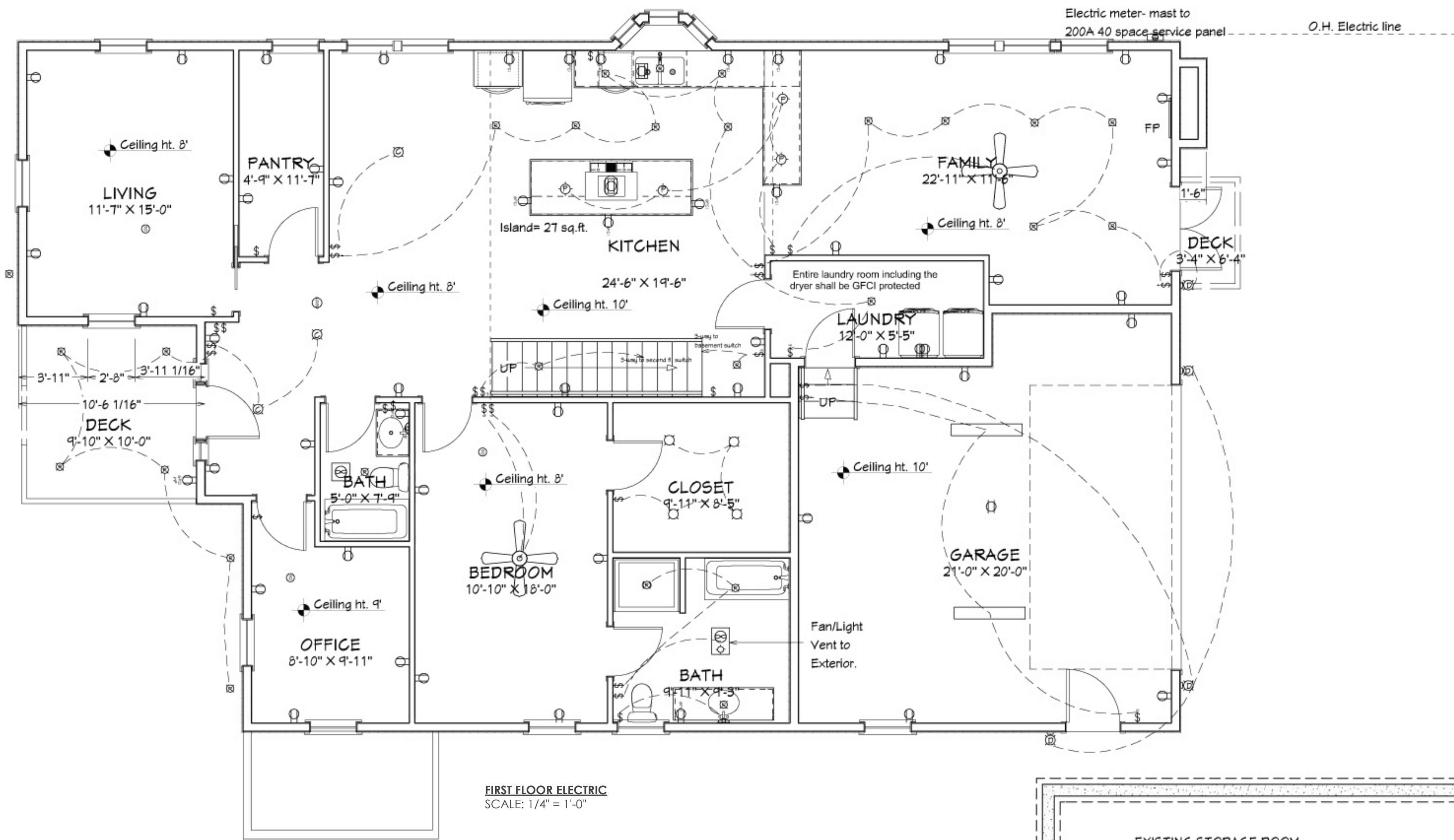
JAMES LYON
GENERAL CONTRACTING LLC
BOULDER COLORADO
(720) 751-5386
JIMLYON100@GMAIL.COM

LOCATION
516 LINCOLN AVE
LOUISVILLE CO 80027

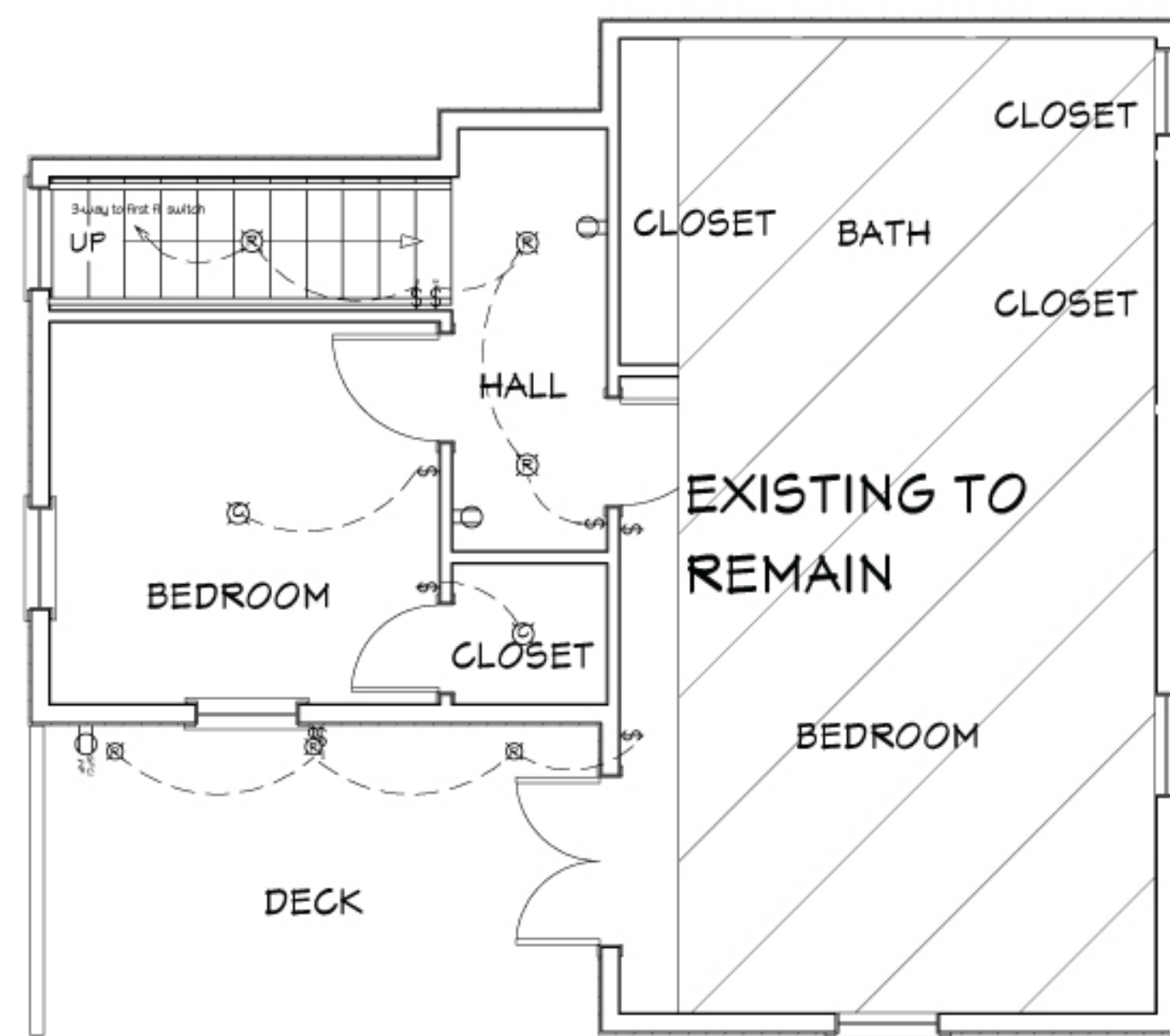
PROJECT
RESIDENTIAL REMODEL
PROJECT NO.
245,170

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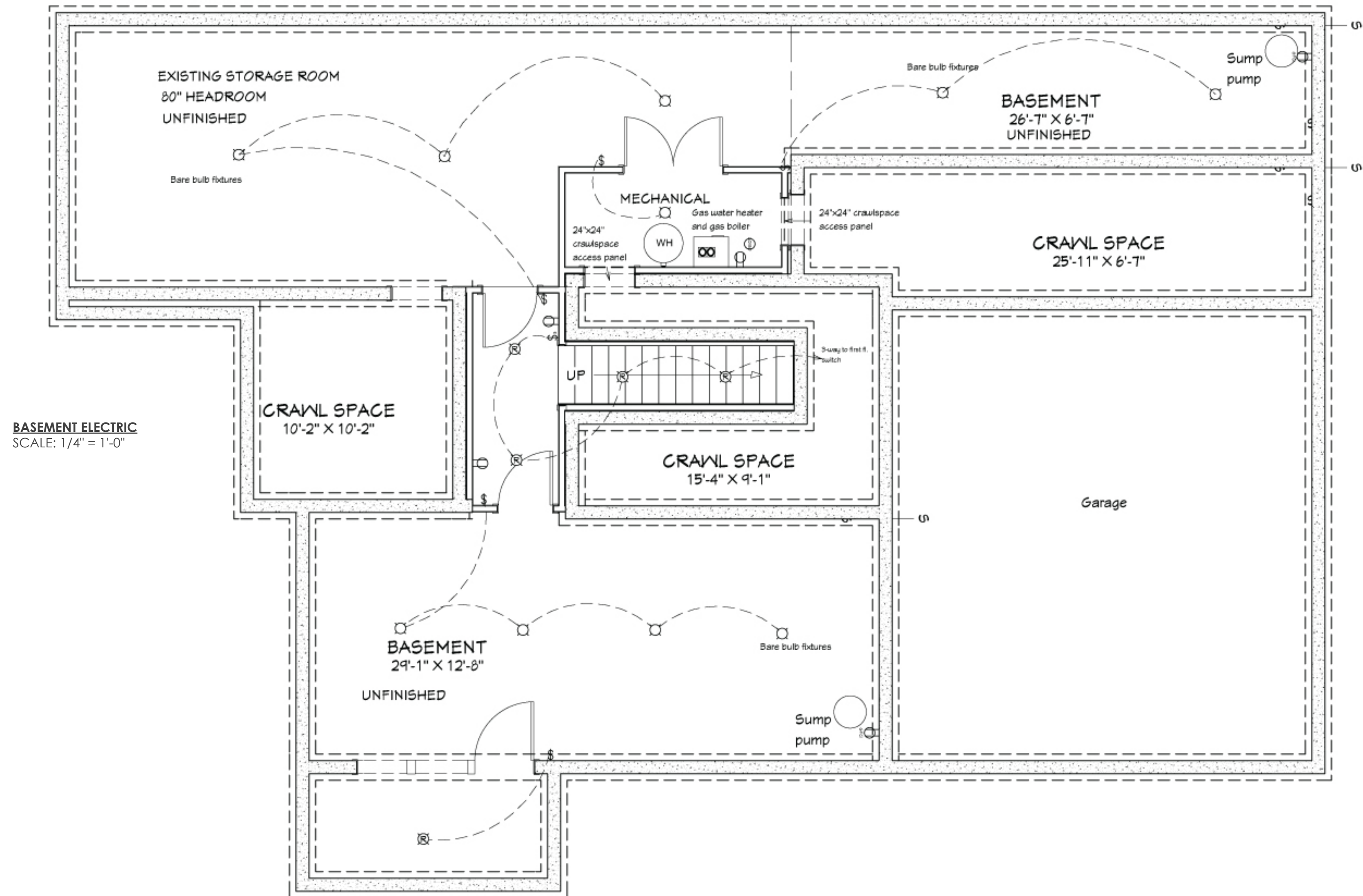
SITE PLANS
MINE MAP



FIRST FLOOR ELECTRIC
SCALE: 1/4" = 1'-0"



SECOND FLOOR ELECTRIC
SCALE: 1/4" = 1'-0"



BASEMENT ELECTRIC
SCALE: 1/4" = 1'-0"

LEGEND

⊙ Smoke Detector	48" LED surface mount fixture
⊙ CO/Smoke Detector	Fan/light
⊙ Ceiling mounted LED light	
⊙ LED Pendant Light	Surface mount wall fixture
⊙ Recessed LED light	
⊙ Dark Sky Compliant LED wall light	

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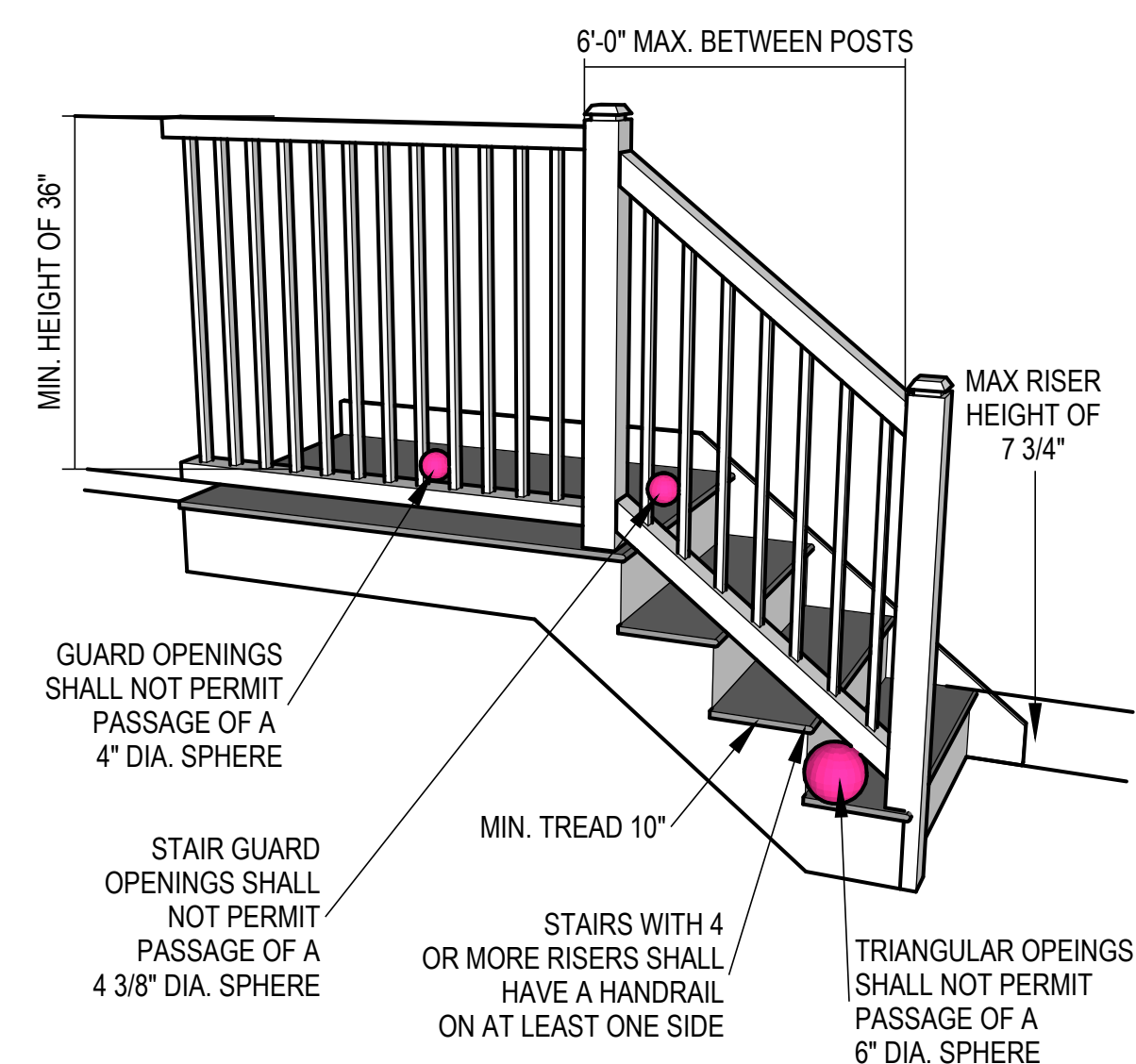
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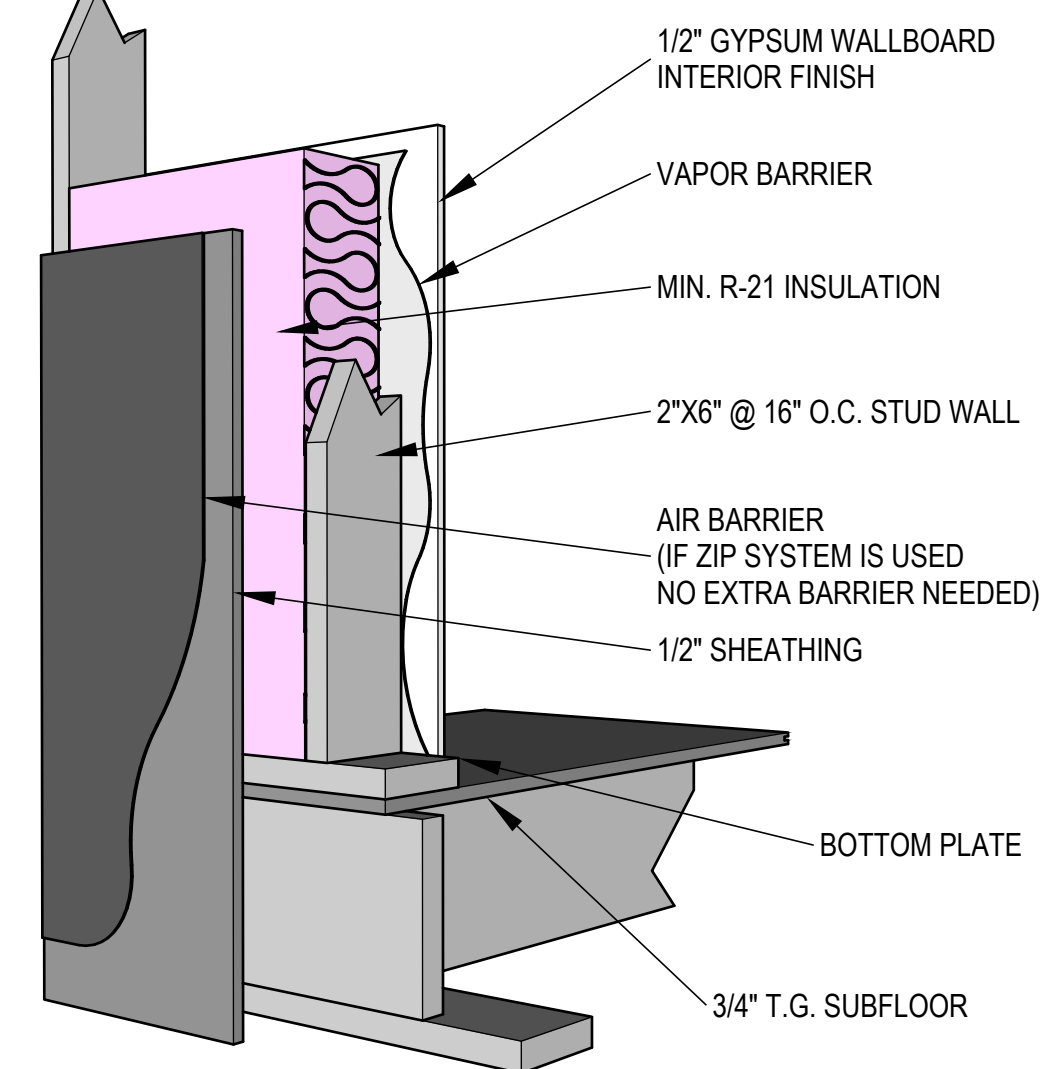
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FIRST FLOOR &
BASEMENT
ELECTRIC

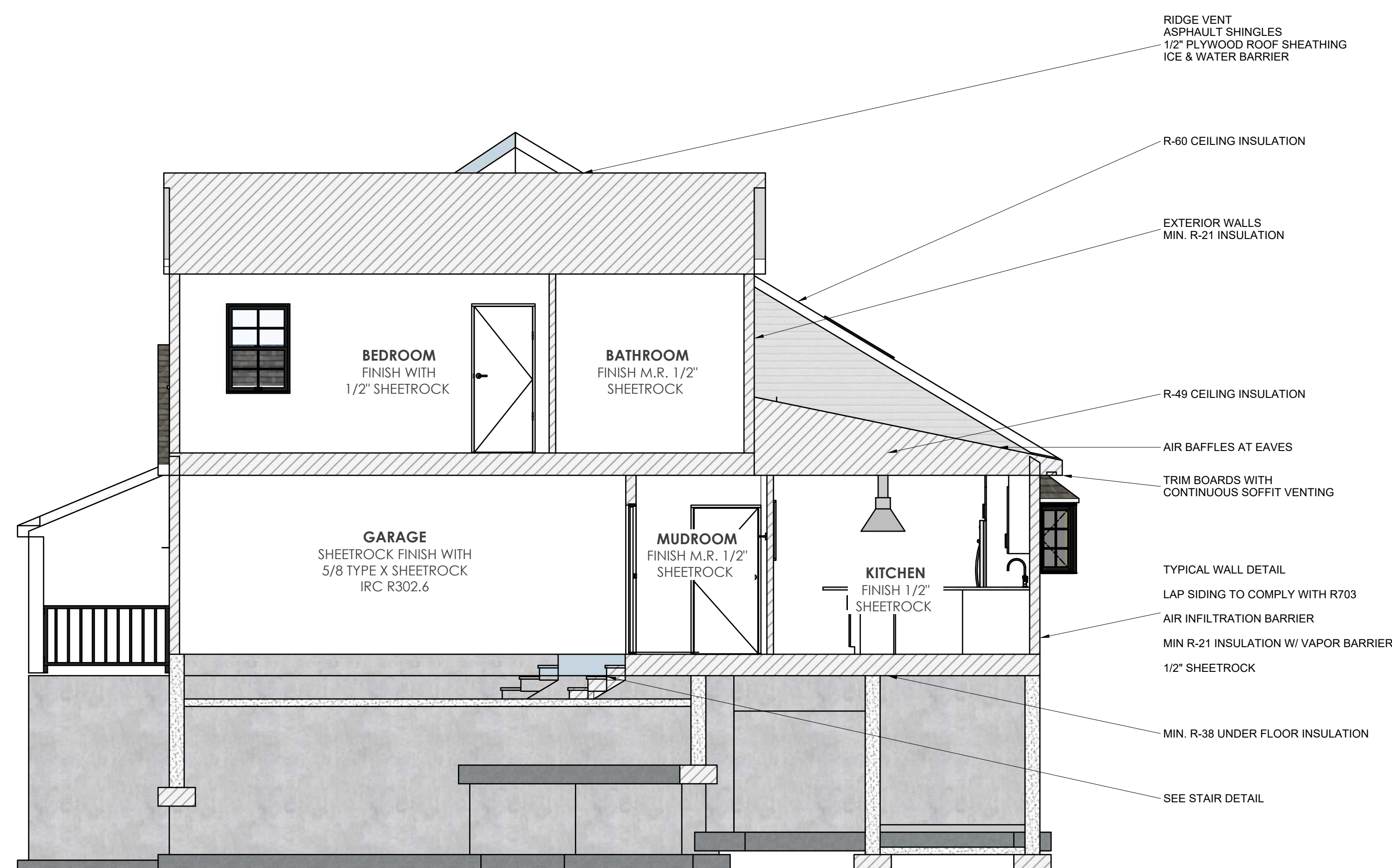
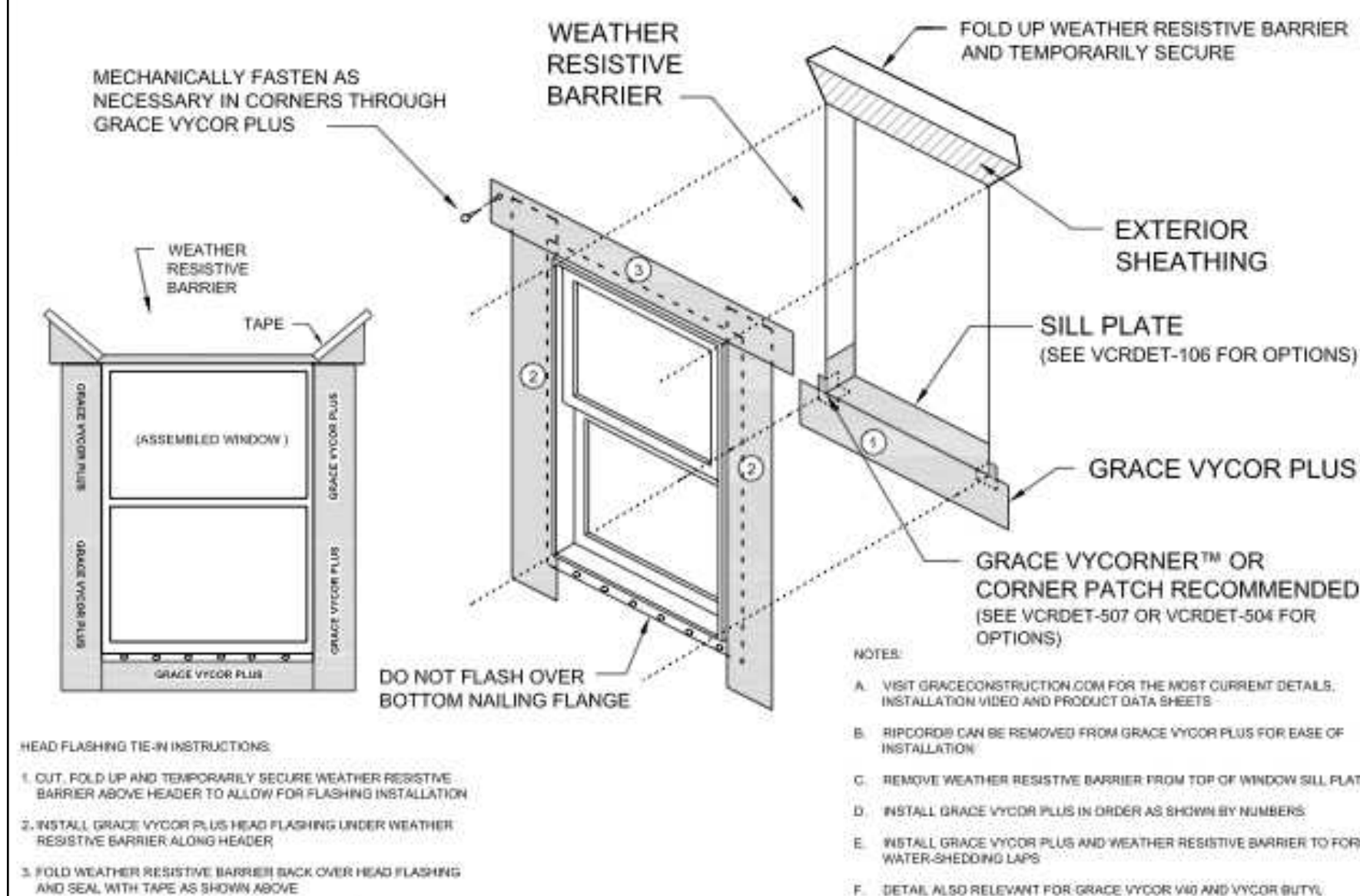
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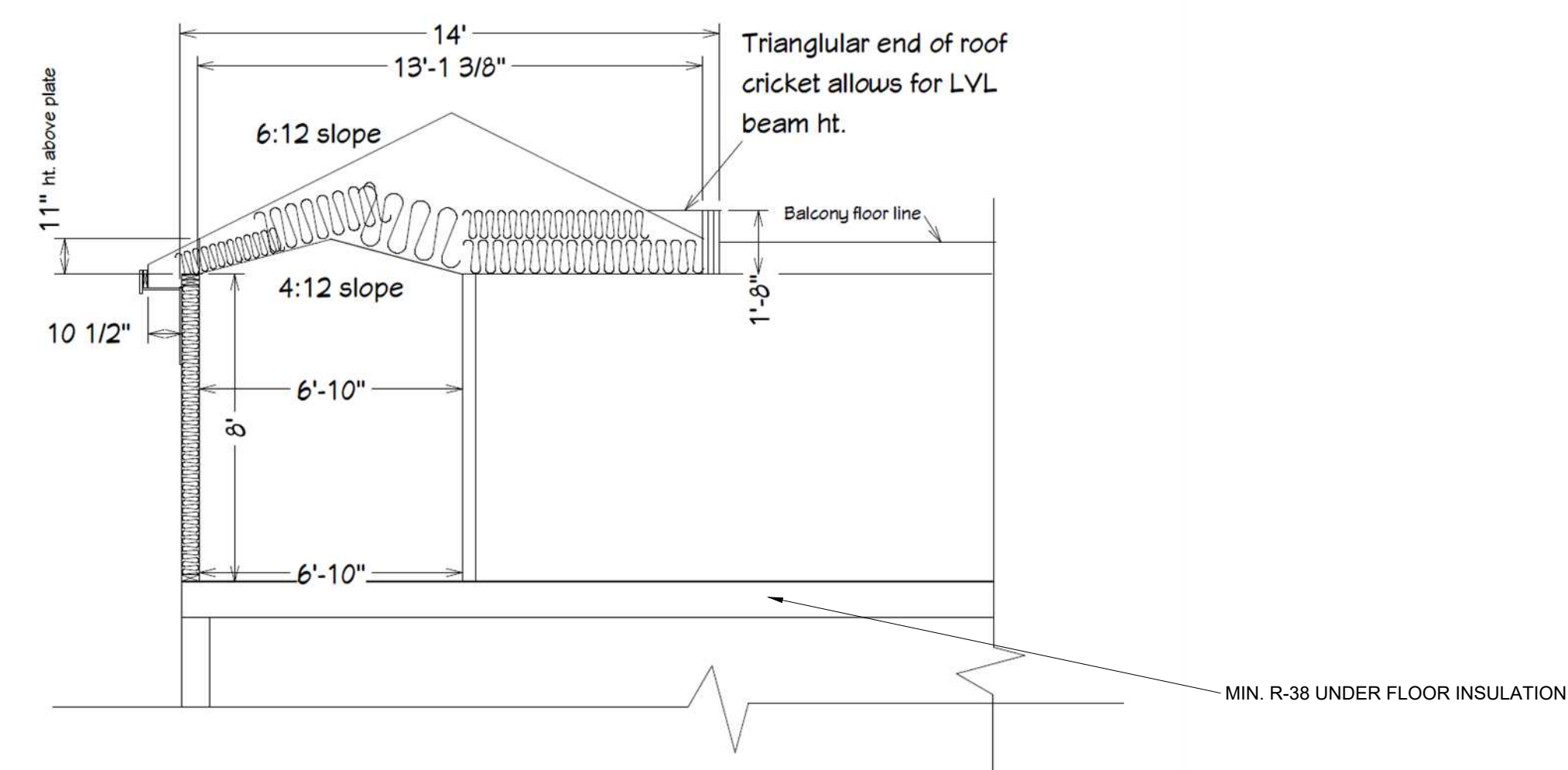
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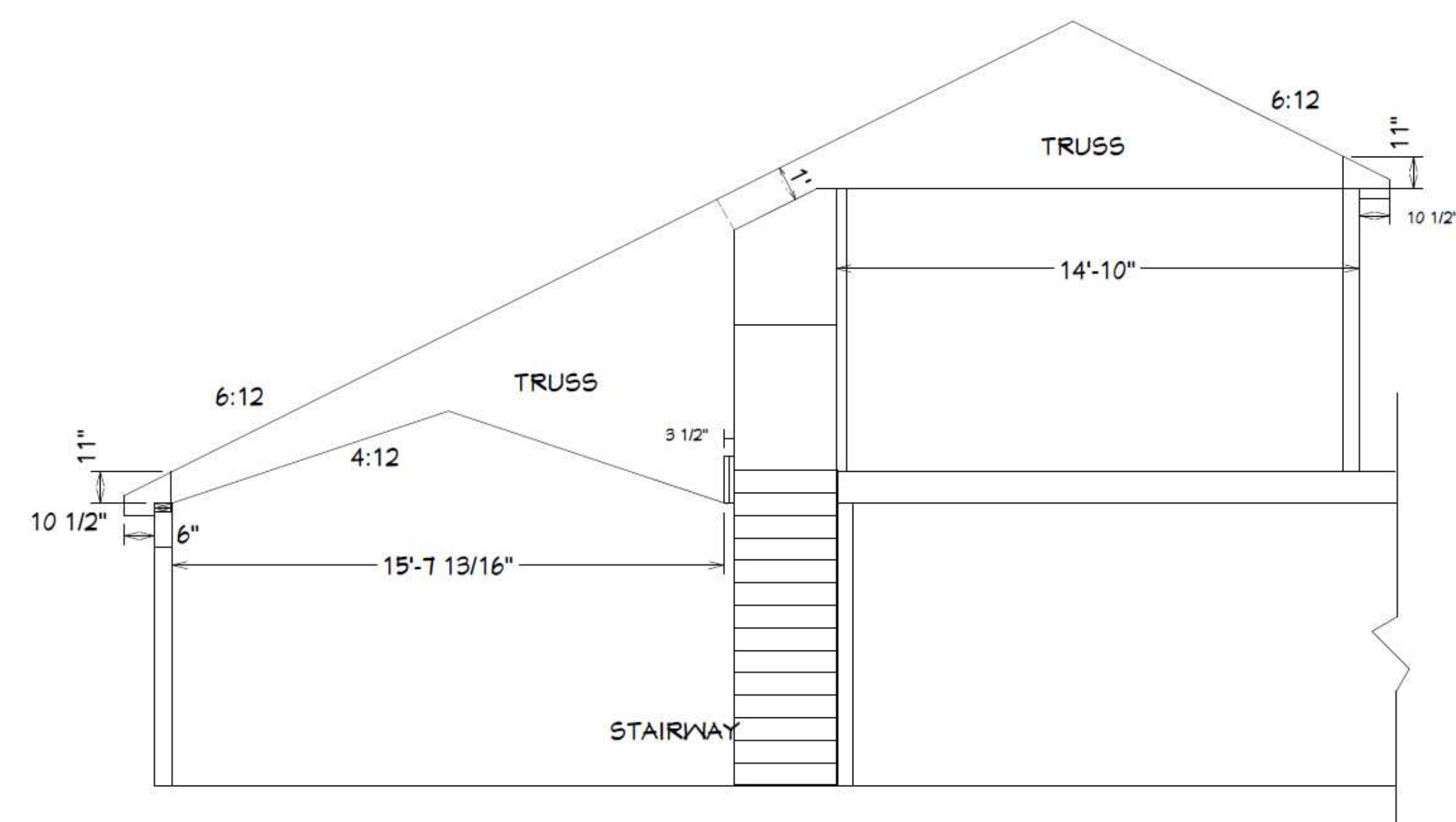
SCALE: N/A



SECTION CUT A
SCALE: 1/4" = 1'-0"



SECTION B-B TRUSS DETAIL



SECTION A-A TRUSS DETAIL

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DETAILS SECTION CUT