

932 MAIN
932 MAIN STREET LOUISVILLE, CO 80021



OWNERSHIP SIGNATURE BLOCK:

BY SIGNING THIS PUD, THE OWNER ACKNOWLEDGES AND ACCEPTS ALL THE REQUIREMENTS AND INTENT SET FORTH IN THIS PUD.
WITNESS MY / OUR HAND(S) SEAL(S) THIS _____ DAY OF _____, 20 _____

OWNER NAME AND SIGNATURE

NOTARY NAME _____

NOTARY SIGNATURE

MY COMMISSION EXPIRES

CITY COUNCIL CERTIFICATE

APPROVED THIS _____ DAY OF _____, 20 _____

BY THE CITY COUNCIL OF THE CITY OF LOUISVILLE, COLORADO.

BY _____
MAYOR

BY _____
CITY CLERK

ORDINANCE FROM RESOLUTION NO. _____, SERIES _____

CLERK AND RECORDER CERTIFICATE:

(COUNTY OF BOULDER, STATE OF COLORADO)

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED IN MY OFFICE AT _____ O'CLOCK _____. M.

THIS _____ DAY OF _____, 20 _____

AND IS RECORDED IN PLAN FILE _____, FEE _____ PAID, _____ FILM
NO. _____ RECEPTION

BY _____
CLERK & RECORDER

BY _____
DEPUTY

PLANNING COMMISSION CERTIFICATE:

APPROVED THIS _____ DAY OF _____, 20 _____

BY THE PLANNING COMMISSION OF THE CITY OF LOUISVILLE, COLORADO.

RESOLUTION NO. 22
SERIES 2017

PROJECT DESCRIPTION:

1. 2-STORY COMMERCIAL BUILDING WITH 4314 SF OF LEASABLE OFFICE SPACE BETWEEN TWO FLOORS AND 1579 SF OF LEASABLE RETAIL SPACE ON THE 1ST FLOOR LEVEL; A PARTIAL BASEMENT IS BEING PROPOSED AT 1223 SF FOR BIKE PARKING, STORAGE AND MECHANICAL PURPOSES ONLY

GENERAL NOTES:

1. THE CITY OF LOUISVILLE IS NOT RESPONSIBLE FOR DAMAGE TO OR REPAIR OF MONUMENT SIGNS, PAVEMENT SURFACES, OR LANDSCAPING CAUSED DURING REPAIR OR MAINTENANCE OF UTILITIES LOCATED WITHIN PUBLIC UTILITY EASEMENTS
2. PROPERTY OWNER SHALL REPLACE EXISTING CURB AND GUTTER THAT HAS SETTLED OR IS OTHERWISE DAMAGED ADJACENT THE SITE
3. PROPERTY OWNER SHALL MAINTAIN, REPAIR, AND REPLACE THE ADA RAMPS AT THE S. ARTHUR AVE. DRIVE LOCATIONS, AS DIRECTED BY THE CITY

PROJECT DATA

OWNER INFO:	1002 WALNUT LLC
-------------	-----------------

OWNER CONTACT: KINGSBERY CPA'S
MARY KAY GONDREZICK
303.444.2240

ZONING: 'CC' IN DOWNTOWN TRANSITION DISTRICT

APPROVED CODES: LOUISVILLE MUNICIPAL CODE

THE DESIGN HANDBOOK FOR
DOWNTOWN LOUISVILLE, CO

SHEET INDEX

1	OF	12	COVER SHEET
2	OF	12	PARKING AND DEVELOPMENT PLAN
3	OF	12	EXISTING CONDITIONS PLAN
4	OF	12	CONNECTION UTILITY PLAN
5	OF	12	GRADING AND DRAINAGE PLAN
6	OF	12	ELEVATIONS
7	OF	12	ELEVATIONS
8	OF	12	PHOTOMETRIC PLAN
9	OF	12	LIGHTING SPECIFICATIONS
10	OF	12	BASEMENT LEVEL FLOOR PLAN
11	OF	12	MAIN LEVEL FLOOR PLAN
12	OF	12	UPPER LEVEL FLOOR PLAN

NARRATIVE

A NEW COMMERCIAL BUILDING IS BEING PROPOSED TO REPLACE THE EXISTING BUILDING WITHIN THE TRANSITION ZONE OF DOWNTOWN LOUISVILLE. THE DEVELOPMENT PROPOSES 10 PARTIALLY COVERED, ALLEY ACCESSED PARKING SPACES ON THE EAST SIDE OF THE BUILDING, AND PROPOSES ONE ON-STREET ACCESSIBLE PARKING SPACE TO BE CREATED ON THE EAST SIDE OF MAIN STREET AT THE CORNER OF MAIN AND SOUTH STREETS. THE NEW ACCESSIBLE PARKING SPACE DOES NOT COUNT TOWARD THE TOTAL PARKING COUNT FOR THE BUILDING PER THE MUNICIPAL CODE. THERE WILL BE MINIMAL LANDSCAPE ON THE SITE AND IRRIGATION TO BE FED BY DOMESTIC WATER.

SITE DATA TABLE

	REQUIRED	PROPOSED
TOTAL SITE AREA:	6,979 SF (100%)	6,979 SF
BUILDING COVERAGE:	NA	5386 SF (77%)
HARDSCAPE AREA:	NA	1227 SF (17.6%)
SUBTOTAL:	NA	6613 SF (94.6%)
LANDSCAPE AREA:	NA	366 SF (5.4%)
TOTAL:	6,979 SF (100%)	6,979 SF

BUILDING HEIGHT		
MAXIMUM:	35'-0"	33'-7"
AVERAGE:	35'-0"	31'-3"
TOP OF MECH. SCREEN	42'-0"	35'-7"

BUILDING AREAS		
BASEMENT	NA	1,740 SF
MAIN LEVEL (LEASEABLE)	NA	1,840 SF
UPPER LEVEL (LEASEABLE)	NA	3,694 SF
NET LEASABLE	NA	5,534 SF
TOTAL GROSS AREA	NA	7,592 SF

BUILDING SETBACKS		
NORTH:	0'-0"	0'-3"
WEST:	0'-0"	8'-0"
SOUTH:	0'-0"	0'-3"
EAST:	20'-0"	20'-0"

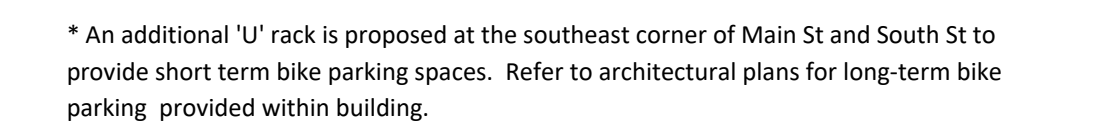
PARKING SPACES		
	TOTAL PARKING	
	PROPOSED	REQUIRED
STANDARD:	10	12
ACCESSIBLE:	0	1
TOTAL:	10	12
PARKING RATIO:	1:500	1:500

PROJECT HISTORY LIST

SHEET NAME:
COVER SHEET

SHEET 1 OF 12
MAY 17, 2022

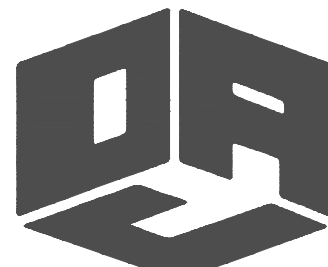
DAJDESIGN
 922A MAIN STREET
 LOUISVILLE, CO 80027
 P. 303.527.1100
 INFO@DAJDESIGN.COM



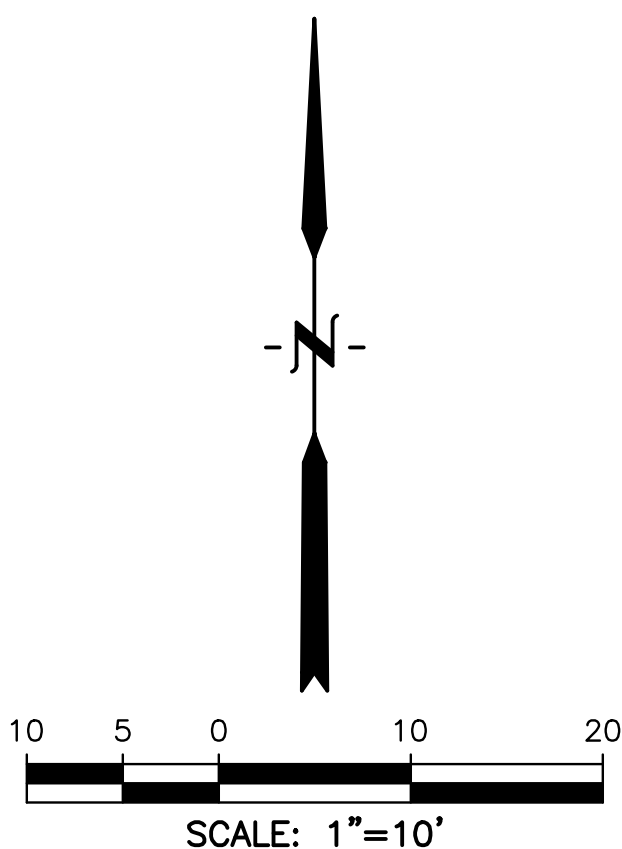
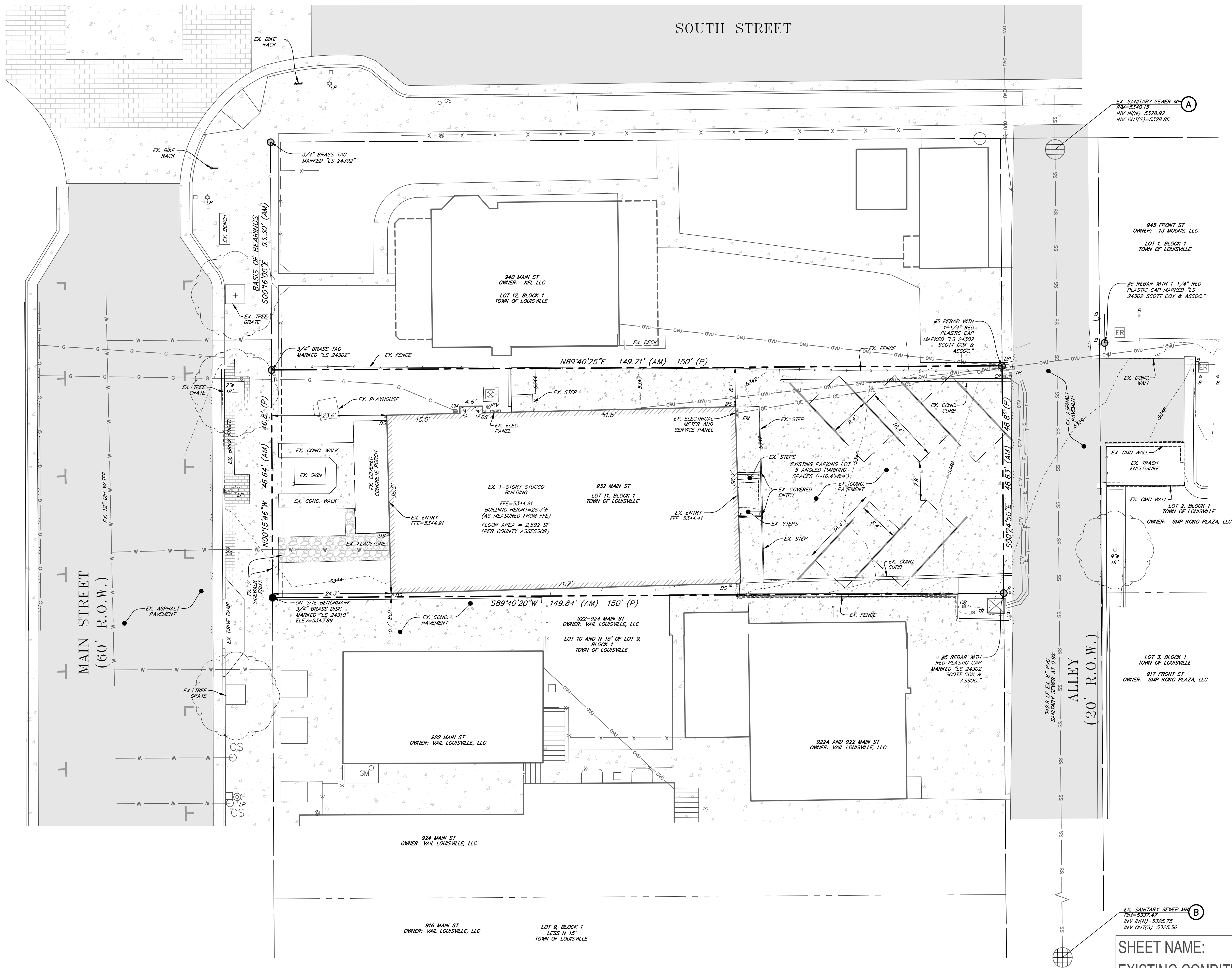
932 MAIN
932 MAIN STREET LOUISVILLE, CO 80027



The Sanitas Group
901 FRONT ST, SUITE 350
LOUISVILLE, CO 80027
303.981.9238



922A MAIN STREET
LOUISVILLE, CO 80027
P. 303.527.1100
INFO@DAJDESIGN.COM



LEGEND

PROPERTY BOUNDARY	---
PUBLIC RIGHT-OF-WAY	---
ADJACENT LOT LINE	---
EASEMENT	---
STORM SEWER	EXISTING ST
SANITARY SEWER	EXISTING SS
WATER	EXISTING W
TELEPHONE	EXISTING T
CABLE TELEVISION	EXISTING CTV
NATURAL GAS	EXISTING G
ELECTRICAL (UNDERGROUND)	EXISTING E
ELECTRICAL (OVERHEAD)	EXISTING OE
OVERHEAD UTILITIES	EXISTING OVH
UTILITY MANHOLE	EXISTING
FIRE HYDRANT	EXISTING
WATER VALVE	EXISTING
WATER METER	EXISTING
LIGHT POLE	EXISTING
SANITARY SEWER STRUCTURE DESIGNATOR	EXISTING
STORM STRUCTURE DESIGNATOR	EXISTING
CONCRETE	EXISTING
BRICK PAVERS	EXISTING

EXISTING CONDITIONS NOTES

- THE EXISTING CONDITIONS SHOWN HEREON ARE BASED ON THE "IMPROVEMENT SURVEY PLAT, LOT 11, BLOCK 1, TOWN OF LOUISVILLE" PREPARED BY FLATIRONS, INC. DATED 03/30/22.
- THE LOCATION OF THE ABOVE GROUND UTILITIES SHOWN HEREON ARE BASED ON THE FIELD SURVEY BY FLATIRONS, INC. REFERENCED ABOVE. THE LOCATIONS OF THE UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON SAID SURVEY AND INFORMATION PROVIDED BY OTHERS (WHICH MAY INCLUDE THE UTILITY OWNER OR UTILITY LOCATING SERVICES).

PROJECT HORIZONTAL AND VERTICAL CONTROL

PROJECT HORIZONTAL AND VERTICAL CONTROL PER THE "IMPROVEMENT SURVEY PLAT, LOT 11, BLOCK 1, TOWN OF LOUISVILLE" PREPARED BY FLATIRONS, INC. DATED 03/30/22.

BASIS OF BEARINGS
PER THE IMPROVEMENT SURVEY PLAT, NOTE 5:
"BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF S00°15'46"E ALONG THE EAST LINE OF MAIN STREET RIGHT-OF-WAY, BETWEEN A FOUND 3/4" BRASS TAG MARKED "LS 24302" AT THE NORTHWEST CORNER OF LOT 12, BLOCK 1, TOWN OF LOUISVILLE AND A FOUND 3/4" BRASS TAG MARKED "LS 24310" AT THE SOUTHWEST CORNER OF LOT 11, BLOCK 1, TOWN OF LOUISVILLE. COLORADO STATE PLANE COORDINATE SYSTEM, NORTH ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO."

VERTICAL BENCHMARK
PER THE IMPROVEMENT SURVEY PLAT, NOTE 13:
THE VERTICAL BENCHMARK IS CITY OF LOUISVILLE POINT LP4, DESCRIBED AS A #6 REBAR WITH 3-1/4" ALUMINUM CAP IN RANGE BOX "TIS R69W 1/4 SE S9 1995 1S13155" AT THE EAST QUARTER CORNER OF SECTION 8, LOCATED 0.2 MILES FROM THE SITE ELEV = 5320.64 (NAVD88)

SITE BENCHMARK IS LOCATED AT THE SOUTHWEST CORNER OF LOT 11, BLOCK 1, TOWN OF LOUISVILLE AND IS DESCRIBED AS 3/4" BRASS TAG MARKED "LS 24310". ELEV=5343.89 (NAVD88)

FLOODPLAIN NOTE

THE SUBJECT PROPERTIES ARE LOCATED IN IN ZONE X UNSHADED, AREA OF MINIMAL FLOOD HAZARD ACCORDING TO THE FEMA FLOOD INSURANCE RATE MAP; COMMUNITY PANEL NO. 08013C0582-K EFFECTIVE DATE 15 AUGUST 2019.

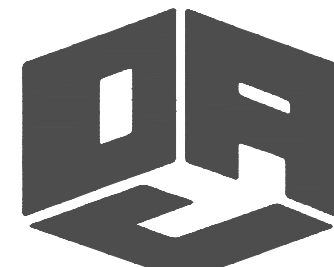
SHEET NAME:
EXISTING CONDITIONS PLAN

3 OF 12
MAY 17, 2022

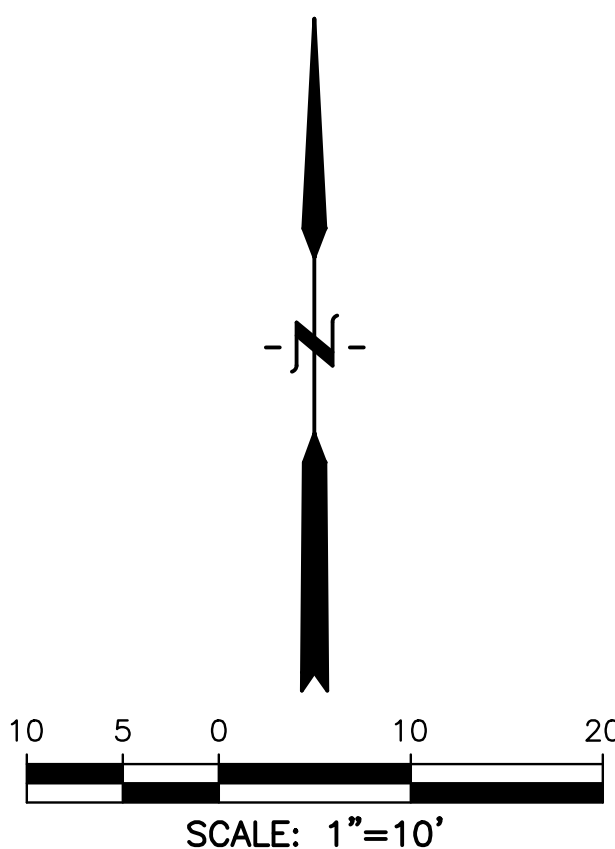
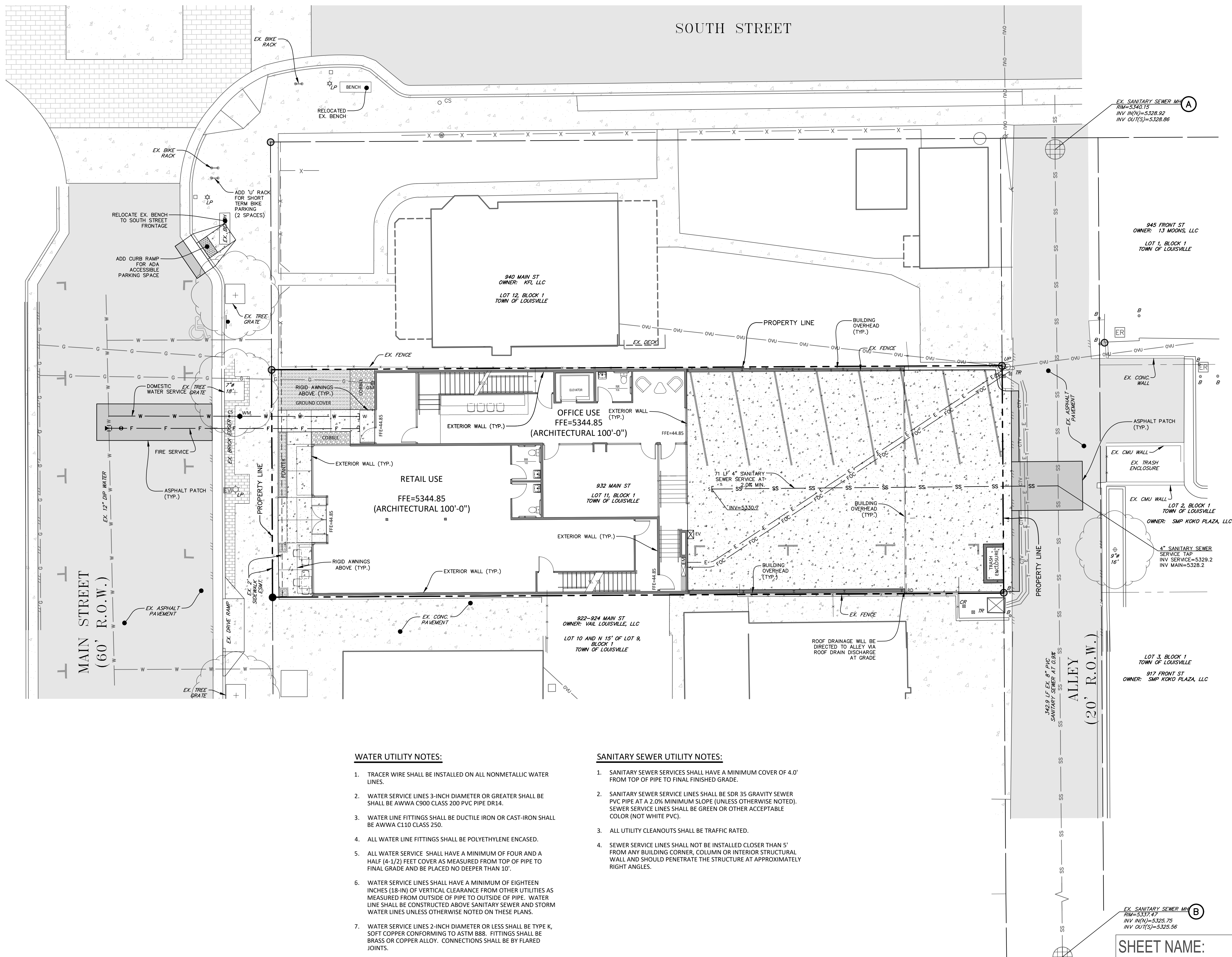
932 MAIN
932 MAIN STREET LOUISVILLE, CO 80027



The Sanitas Group
901 FRONT ST, SUITE 350
LOUISVILLE, CO 80027
303.981.9238



DAJDESIGN
922A MAIN STREET
LOUISVILLE, CO 80027
P. 303.527.1100
INFO@DAJDESIGN.COM



LEGEND

PROPERTY BOUNDARY	---
ADJACENT LOT LINE	---
EASEMENT	---
PUBLIC RIGHT-OF-WAY	---
STORM SEWER	EXISTING: ST PROPOSED: SS
SANITARY SEWER	EXISTING: W PROPOSED: SS
WATER	EXISTING: W PROPOSED: W
FIRE SERVICE	EXISTING: F PROPOSED: F
TELEPHONE	EXISTING: T PROPOSED: T
CABLE TELEVISION	EXISTING: CTV PROPOSED: CTV
NATURAL GAS	EXISTING: G PROPOSED: G
ELECTRICAL (UNDERGROUND)	EXISTING: E PROPOSED: E
OVERHEAD UTILITIES	EXISTING: OVH PROPOSED: OVH
UTILITY MANHOLE	EXISTING: (circle with cross) PROPOSED: (circle with cross)
FIRE HYDRANT	EXISTING: (circle with cross) PROPOSED: (circle with cross)
WATER VALVE	EXISTING: (circle with cross) PROPOSED: (circle with cross)
WATER METER	EXISTING: (circle with cross) PROPOSED: (circle with cross)
LIGHT POLE	EXISTING: (circle with cross) PROPOSED: (circle with cross)
SIGN	EXISTING: (circle with cross) PROPOSED: (circle with cross)
SANITARY SEWER STRUCTURE DESIGNATOR	EXISTING: (circle with cross) PROPOSED: (circle with cross)
STORM STRUCTURE DESIGNATOR	EXISTING: (circle with cross) PROPOSED: (circle with cross)
EXISTING CONCRETE	(hatched pattern)
PROPOSED STANDARD CONCRETE	(dotted pattern)
EXISTING ASPHALT PAVEMENT	(hatched pattern)
PROPOSED ASPHALT	(dotted pattern)
EXISTING BRICK PAVERS	(hatched pattern)

WATER UTILITY NOTES:

1. TRACER WIRE SHALL BE INSTALLED ON ALL NONMETALLIC WATER LINES.
2. WATER SERVICE LINES 3-INCH DIAMETER OR GREATER SHALL BE SHALL BE AWWA C900 CLASS 200 PVC PIPE DR14.
3. WATER LINE FITTINGS SHALL BE DUCTILE IRON OR CAST-IRON SHALL BE AWWA C110 CLASS 250.
4. ALL WATER LINE FITTINGS SHALL BE POLYETHYLENE ENCASED.
5. ALL WATER SERVICE SHALL HAVE A MINIMUM OF FOUR AND A HALF (4-1/2) FEET COVER AS MEASURED FROM TOP OF PIPE TO FINAL GRADE AND BE PLACED NO DEEPER THAN 10'.
6. WATER SERVICE LINES SHALL HAVE A MINIMUM OF EIGHTEEN INCHES (18-IN) OF VERTICAL CLEARANCE FROM OTHER UTILITIES AS MEASURED FROM OUTSIDE OF PIPE TO OUTSIDE OF PIPE. WATER LINE SHALL BE CONSTRUCTED ABOVE SANITARY SEWER AND STORM WATER LINES UNLESS OTHERWISE NOTED ON THESE PLANS.
7. WATER SERVICE LINES 2-INCH DIAMETER OR LESS SHALL BE TYPE K, SOFT COPPER CONFORMING TO ASTM B88. FITTINGS SHALL BE BRASS OR COPPER ALLOY. CONNECTIONS SHALL BE BY FLARED JOINTS.

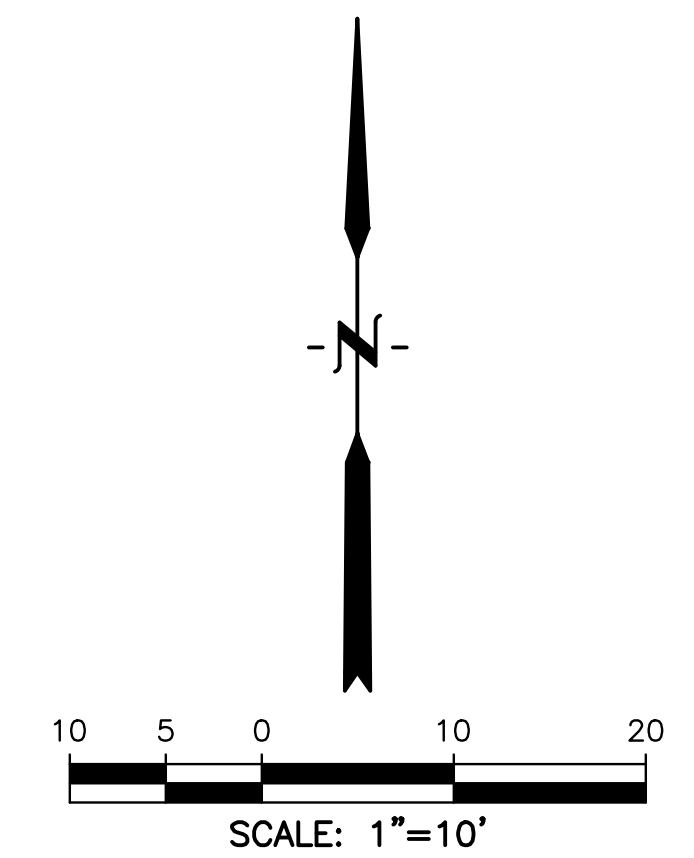
SANITARY SEWER UTILITY NOTES:

1. SANITARY SEWER SERVICES SHALL HAVE A MINIMUM COVER OF 4.0' FROM TOP OF PIPE TO FINAL FINISHED GRADE.
2. SANITARY SEWER SERVICE LINES SHALL BE SDR 35 GRAVITY SEWER PVC PIPE AT A 2.0% MINIMUM SLOPE (UNLESS OTHERWISE NOTED). SEWER SERVICE LINES SHALL BE GREEN OR OTHER ACCEPTABLE COLOR (NOT WHITE PVC).
3. ALL UTILITY CLEANOUTS SHALL BE TRAFFIC RATED.
4. SEWER SERVICE LINES SHALL NOT BE INSTALLED CLOSER THAN 5' FROM ANY BUILDING CORNER, COLUMN OR INTERIOR STRUCTURAL WALL AND SHOULD PENETRATE THE STRUCTURE AT APPROXIMATELY RIGHT ANGLES.

SHEET NAME:
UTILITY CONNECTION PLAN

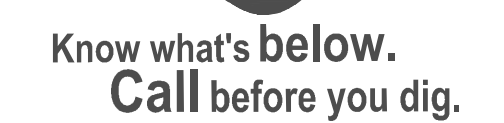
4 OF 12
MAY 17, 2022

DAJDESIGN
 922A MAIN STREET
 LOUISVILLE, CO 80027
 P. 303.527.1100
 INFO@DAJDESIGN.COM



PROPERTY BOUNDARY	EXISTING		
ADJACENT LOT LINE	EXISTING		
EASEMENT	EXISTING		
PUBLIC RIGHT-OF-WAY	EXISTING		
MAJOR CONTOUR	PROPOSED		5335
	EXISTING		5335
MINOR CONTOUR	PROPOSED		5334
	EXISTING		5334
SPOT ELEVATION	PROPOSED		34.62
	EXISTING		ST
STORM SEWER	PROPOSED		
	EXISTING		SS
SANITARY SEWER	PROPOSED		SS
	EXISTING		W
WATER	PROPOSED		W
	EXISTING		W
FIRE SERVICE	PROPOSED		F
	EXISTING		F
TELEPHONE	EXISTING		T
	EXISTING		T
CABLE TELEVISION	EXISTING		CTV
NATURAL GAS	EXISTING		G
	PROPOSED		G
ELECTRICAL (UNDERGROUND)	EXISTING		E
	PROPOSED		E
OVERHEAD UTILITIES	EXISTING		OH
UTILITY MANHOLE	EXISTING		
	PROPOSED		
FIRE HYDRANT	EXISTING		
	PROPOSED		
WATER VALVE	EXISTING		
	PROPOSED		
WATER METER	EXISTING		
	PROPOSED		
LIGHT POLE	EXISTING		
	EXISTING		
SIGN	PROPOSED		
SANITARY SEWER STRUCTURE DESIGNATOR	EXISTING		
STORM STRUCTURE DESIGNATOR	EXISTING		
EXISTING CONCRETE			
PROPOSED STANDARD CONCRETE			
EXISTING ASPHALT PAVEMENT			
PROPOSED ASPHALT			

1. ALL SPOT ELEVATIONS ARE TO FLOWLINE OF CURB AND GUTTER, TOP OF PAVING OR FINISHED GRADE LANDSCAPE AREA UNLESS OTHERWISE NOTED.
2. ALL PROPOSED CONTOURS ARE TO TOP OF FINISHED PAVING AND LANDSCAPED AREAS UNLESS OTHERWISE NOTED.
3. ADD 5300 TO ALL PROPOSED SPOT ELEVATIONS TO REACH PROJECT VERTICAL DATUM.
4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND PROVIDE FOR ADEQUATE DRAINAGE THROUGH THE SITE DURING THE PROCESS OF EXCAVATION, GRADING AND EMBANKMENT. THE GRADE SHALL BE MAINTAINED IN SUCH CONDITION THAT IT IS WELL DRAINED AT ALL TIMES.
5. LANDSCAPE SLOPES SHALL BE 2% OR GREATER AND SHALL NOT EXCEED 4:1 (H:V) UNLESS OTHERWISE NOTED ON THESE PLANS AND APPROVED BY THE CITY INSPECTOR/ENGINEER.
6. MATCH EXISTING GRADES AT LIMITS OF CONSTRUCTION.



5 OF 12
MAY 17, 2022

932 MAIN
932 MAIN STREET LOUISVILLE, CO 80027

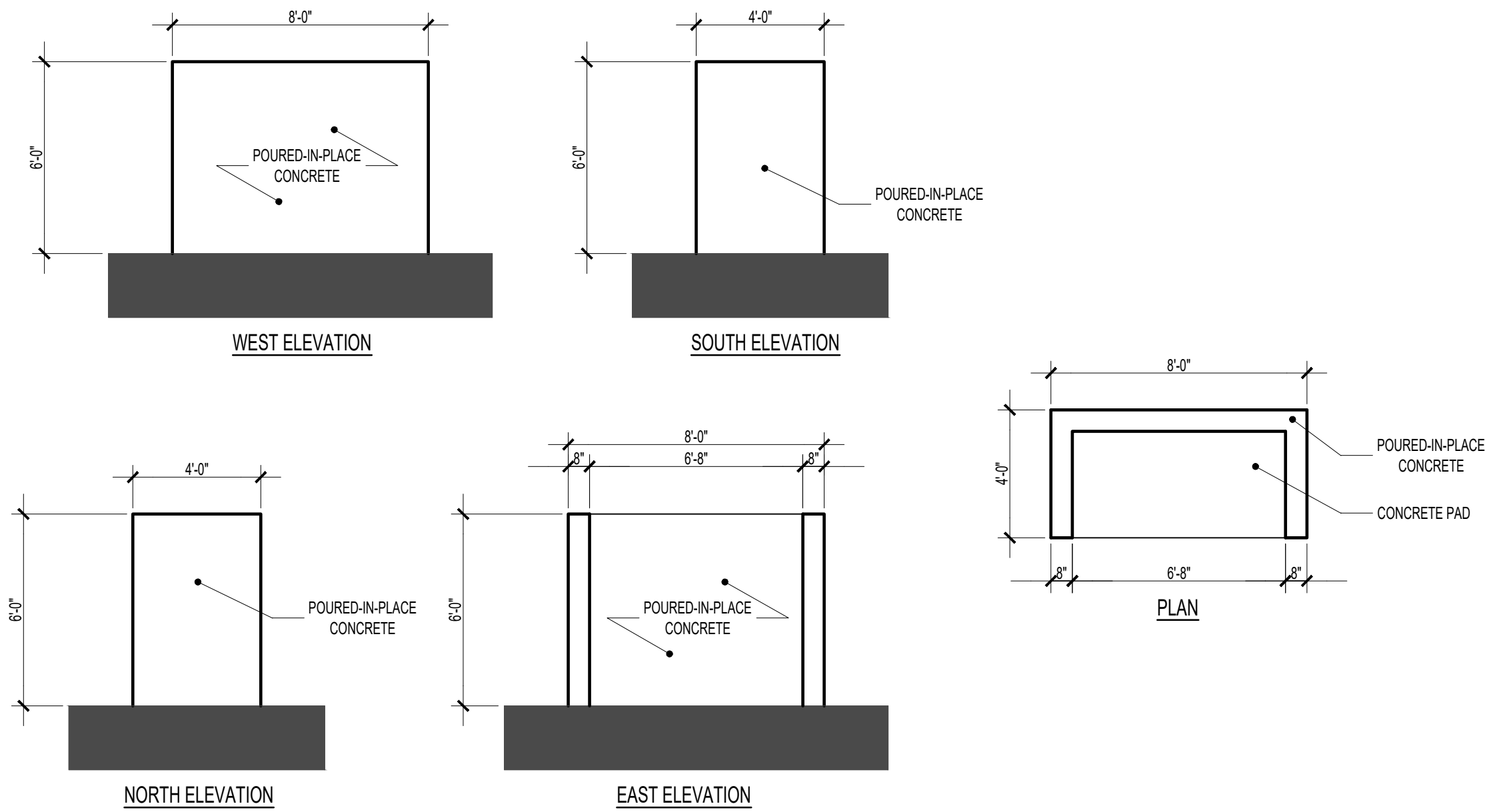


1 WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

932 MAIN
932 MAIN STREET LOUISVILLE, CO 80027



2 TRASH ENCLOSURE
SCALE: 1/4" = 1'-0"



1 EAST ELEVATION
SCALE: 1/4" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

932 MAIN

932 MAIN STREET LOUISVILLE, CO 80027

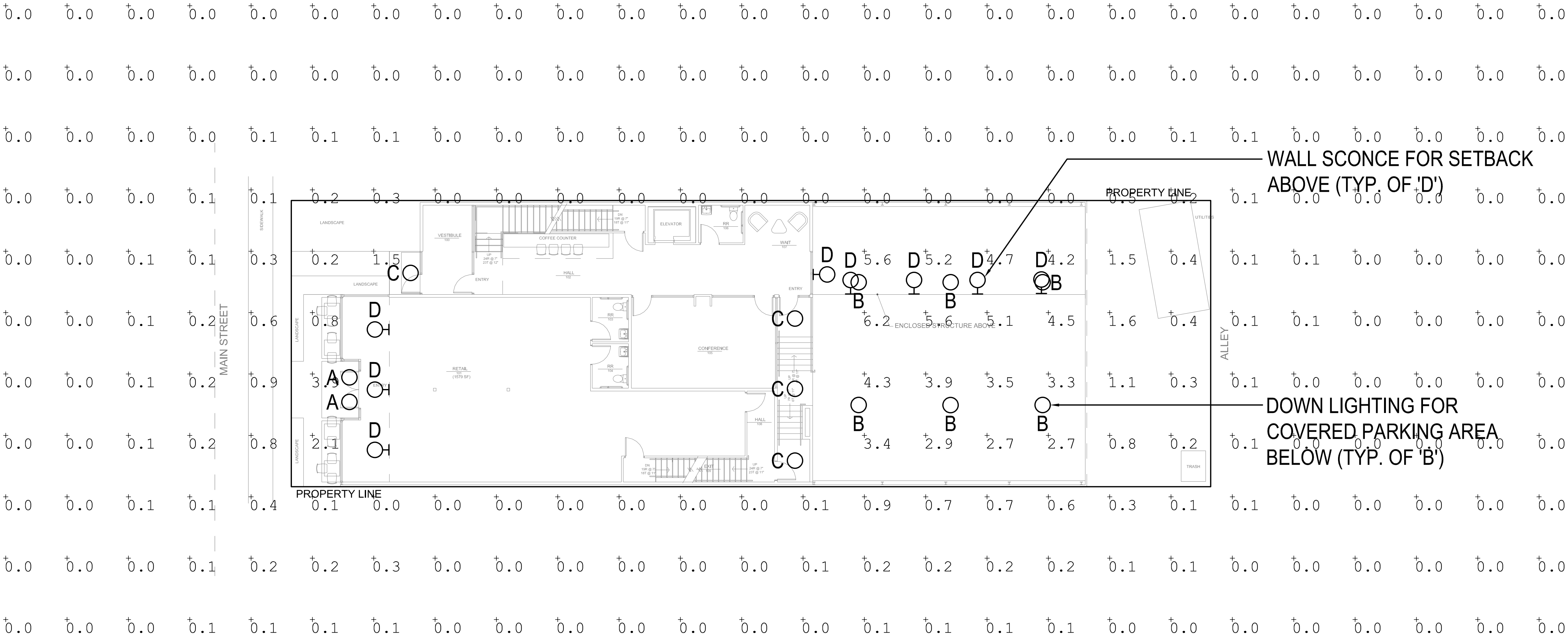
JCA

JCAA
4100 Wadsworth Blvd.
Wheat Ridge, CO 80033
p 303.985.3260

#22.105



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
OVERALL SITE_1	Illuminance	Fc	0.38	6.2	0.0	N.A.	N.A.
PARKING AREA	Illuminance	Fc	3.64	6.2	0.8	4.55	7.75



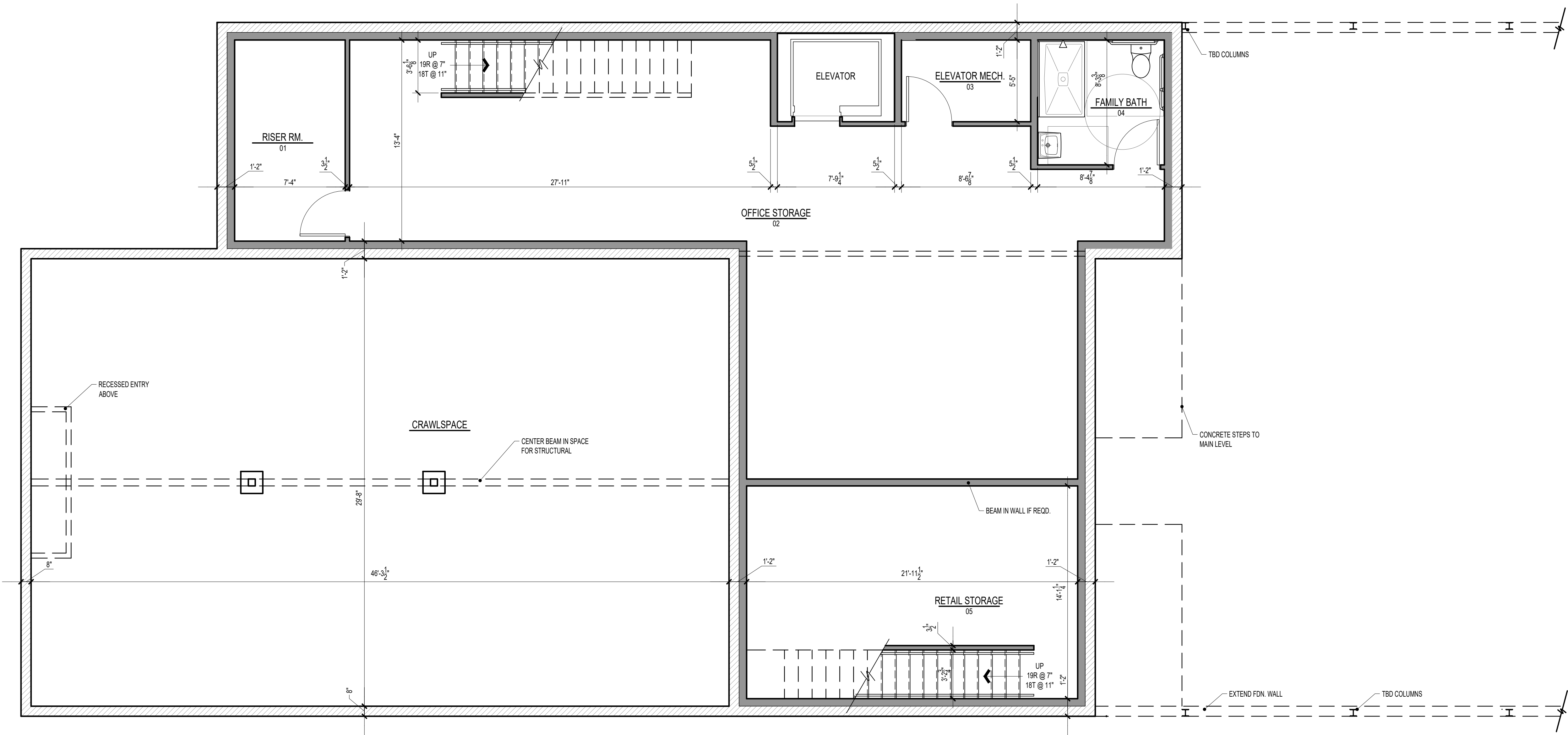
LUMINAIRE SCHEDULE									
DESIGNATION	DESCRIPTION	LAMPS		VOLTAGE	TOTAL VA	MANUFACTURER		MOUNTING	
		DESIGN BASIS							
		QTY.	TYPE			NAME	CATALOG SERIES	TYPE	DEPTH
A	5" ROUND RECESSED LED DOWNLIGHT	-	LED	120V	11.9	LITHONIA LIGHTING	65BEMW LED 30K 90CRI M6	RECESSED	
B	10" ROUND SURFACE MOUNTED LED DOWNLIGHT	-	LED	120V	17	NATION SPECIALTY LIGHTING	LVLDL-SR-10-WW-	SURFACE (CEILING)	
C	6" ROUND RECESSED LED DOWNLIGHT	-	LED	120V	10.25	LITHONIA LIGHTING	6BPMW LED 30K 90CRI	RECESSED	
D	LED WALL SCONCE	-	LED	120V	12	KUZCO	MICA AT67010	SURFACE (WALL)	

TYPE "D"

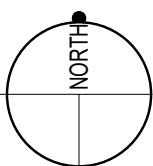
NATIONAL SPECIALTY LIGHTING • nslusa.com



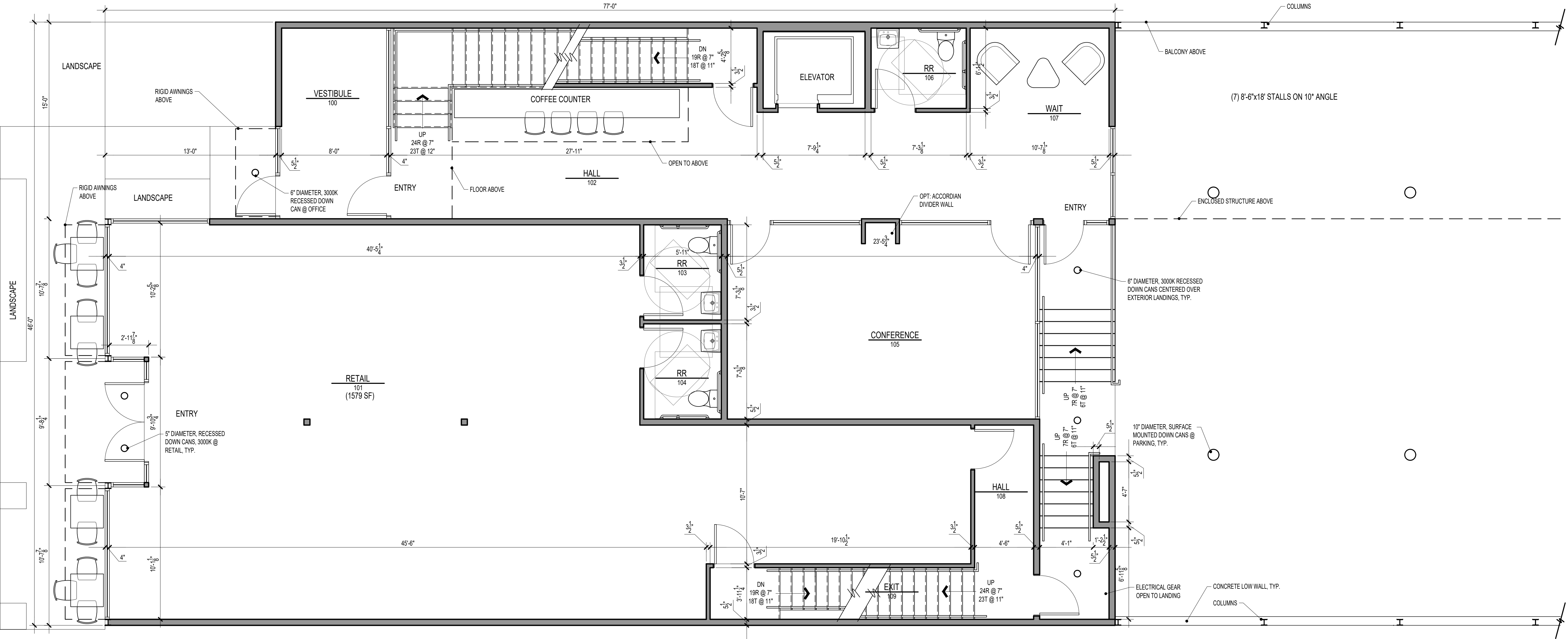
ETL
Intertek



1 BASEMENT LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"



932 MAIN
932 MAIN STREET LOUISVILLE, CO 80027



1 MAIN LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

